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Proposed:

# KIRKWOOD PUBLIC WORKS RENOVATION

545 LEFFINGWELL AVE.

**LIFE SAFETY PLAN**

No.	Date	Revision
1	4/10/2026	ADDENDUM 1

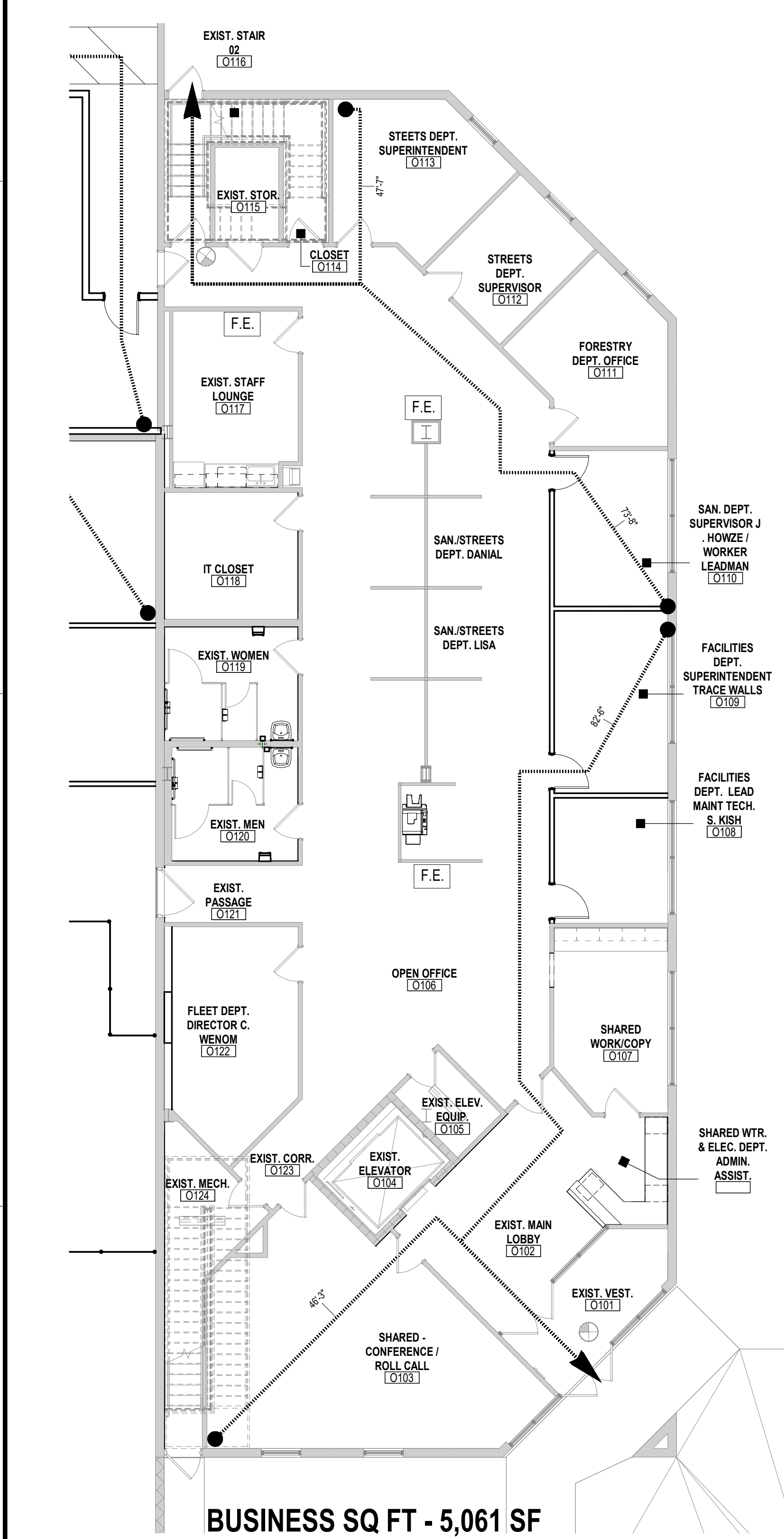
Project No.  
**24059**

Sheet No.  
**A010**

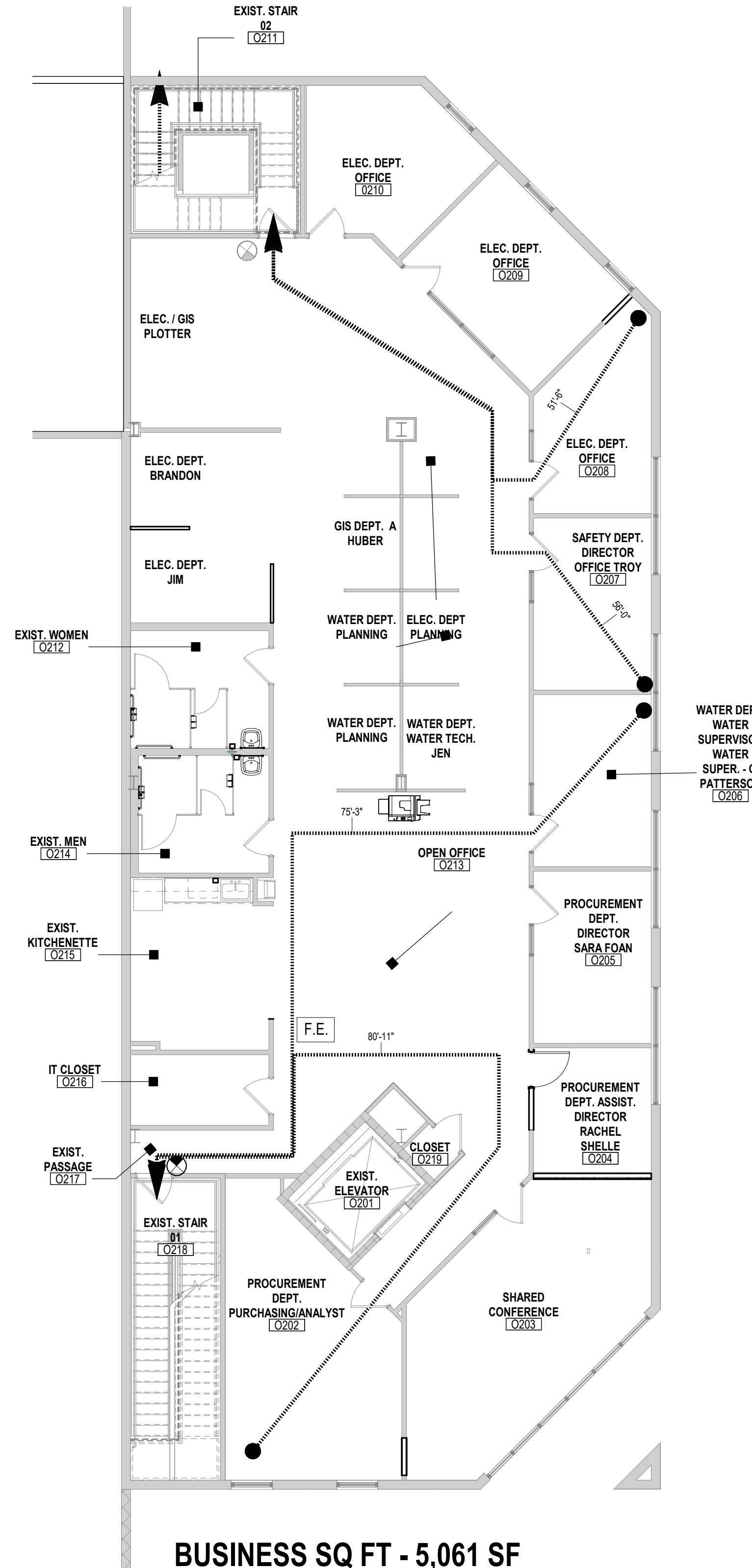
**LIFE SAFETY PLAN**

Date  
**04/10/2026**

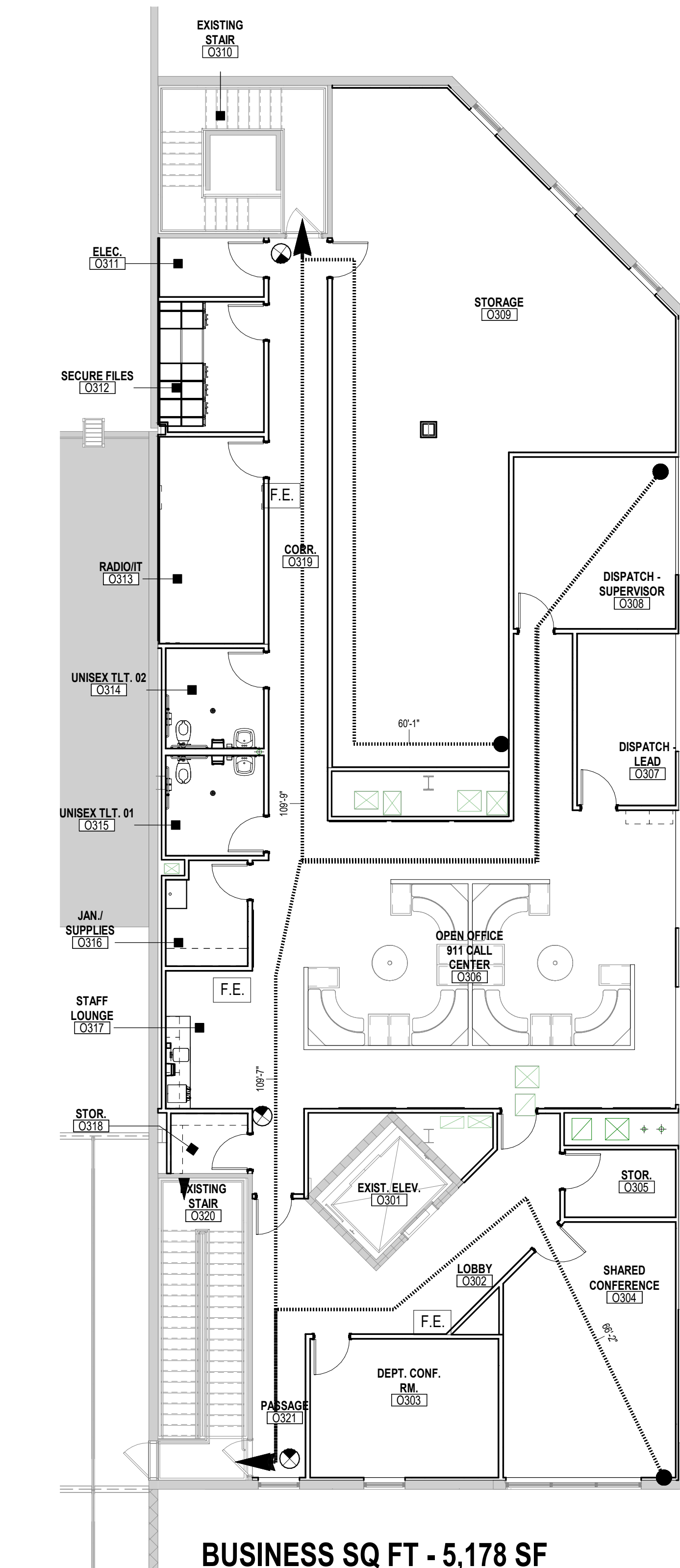




**A1 BUSINESS OFFICE LIFE SAFETY PLAN - L01**  
1/8" = 1'-0"



**A3 BUSINESS OFFICE LIFE SAFETY PLAN - L02**  
1/8" = 1'-0"



**A5 BUSINESS OFFICE LIFE SAFETY PLAN - L03**  
1/8" = 1'-0"

**ICC 500-2014 : STORM SHELTER - TORNADO**

SEC. 501.1. OCCUPANT LOAD > 16 PERSONS.  
OCCUPANT LOAD ACTUAL = 16

TABLE 501.1.1 - OCCUPANT DENSITY  
MINIMUM SQFT PER PERSON = 5 SQFT  
WHEELCHAIR SPACE = 10 SQFT PER 200 PERSONS

SEC. 501.1.2.2 ALTERNATIVE CALCULATIONS OF USABLE FLOOR AREA  
THE USABLE FLOOR AREA SHALL BE DETERMINED BY SUBTRACTING FROM THE GROSS FLOOR AREA, THE FLOOR PARTITIONS & WALLS, COLUMNS, FIXED OR MOVABLE OBJECTS, FURNITURE, EQUIPMENT OF OTHER FEATURES THAT UNDER PROBABLE CONDITIONS CANNOT BE MOVED.

NET AREA OF SHELTER = 538 SQFT (PER SEC. 501.1.2.2)

MAX. OCCUPANT LOAD FOR SHELTER:  
538 SQFT / 10 SQFT (FOR WHEELCHAIR) = 53.8 SQFT / 5 SQFT PER PERSON = 10.76 = 10 PERSONS

SEC. 501.2 NUMBER OF DOORS  
AS REQUIRED FOR NORMAL OCCUPANCY WHERE THE APPLICABLE CODE REQUIRES ONLY ONE MEANS OF EGRESS DOOR, AN EMERGENCY ESCAPE OPENING SHALL BE PROVIDED IN ACCORDANCE WITH SEC. 501.4

SEC. 501.3 DIRECTION OF SWING  
AS REQUIRED FOR NORMAL OCCUPANCY

SEC. 501.4 EMERGENCY ESCAPE OPENING  
THE EMERGENCY ESCAPE OPENING SHALL BE AN ADDITIONAL DOOR OR OPENING THAT IS A MIN. OF 5.7 SQFT. THE EMERGENCY ESCAPE OPENING SHALL BE LOCATED AWAY FROM THE MEANS OF EGRESS DOOR BY A MIN. DISTANCE OF ONE-THIRD THE LENGTH OF THE MAX. OVERALL DIAGONAL DIM. OF THE AREA TO BE SERVED.

SEC. 501.1 FIRE SEPARATION  
FIRE BARRIERS AND HORIZONTAL ASSEMBLIES SEPARATION SPACES OR AREAS DESIGNATED AS STORM SHELTERS FROM OTHER BUILDING AREAS SHALL HAVE A MIN. FIRE-RESISTIVE RATING OF 2 HOURS

TABLE 702.1.1 - VENTING AREA REQUIRED FOR TORNADO SHELTERS  
COMMUNITY (<50 OCC.) 5 SQIN PER PERSON  
COMMUNITY (>50 OCC.) 2 TOILET LAVATORY - 1 PER 1000

**2021 IECC TABLE**

OPAQUE ASSEMBLIES - ZONE 4	REQUIRED	PROVIDED
ROOF - INSULATION ENTIRELY ABOVE DECK	R30 CI	N/A
WALLS - METAL FRAMED	R13 + R7.5 CI	R13 + R7.5 CI
METAL BUILDING	R19 + R13 CI	N/A
BELOW GRADE WALLS	R 7.5 CI	N/A
MASS WALLS	R 9.5 CI	N/A
UNHEATED SLABS	R10 FOR 24" BELOW	N/A
OPAQUE DOORS	U-0.37	U-0.37 MAX
NONSWINGING DOORS	U-0.31	N/A

FENESTRATION ASSEMBLIES - ZONE 4	REQUIRED	PROVIDED
CURTAINWALL / STOREFRONT	U-0.36 MAX	U-0.36 MAX
ENTRANCE DOOR	U-0.63 MAX	U-0.63 MAX
SHGC	0.33 MAX	0.33 MAX

**LIFE SAFETY PLAN LEGEND**

SYMBOL	DESCRIPTION
XXXX	DOOR EGRESS TAG
10 000	# OF OCCUPANTS ALLOWED TO EGRESS THRU OPENING PER CODE
10 000	WIDTH REQUIRED
10 000	WIDTH PROVIDED
F.E.	FIRE EXTINGUISHER ON WALL MOUNTED BRACKET.
F.E.C.	FIRE EXTINGUISHER IN CABINET.
EXIT SIGN	EXIT SIGN - SEE ELECTRICAL DRAWINGS.
EXIT SIGN WITH EMERGENCY LIGHTS	EXIT SIGN WITH EMERGENCY LIGHTS - SEE ELECTRICAL DRAWINGS.
EMERGENCY LIGHT	EMERGENCY LIGHT - SEE ELECTRICAL DRAWINGS.
EGRESS PATH	EGRESS PATH
EMERGENCY LIGHTS ARE LOCATED OVER ALL EXTERIOR EXIT DOORS - SEE ELEC. DRAWINGS.	DISTANCE OF PATH

**CODE INFORMATION**

**APPLICABLE CODES**

- 2021 INTERNATIONAL BUILDING CODE
- 2021 INTERNATIONAL EXISTING BUILDING CODE
- 2021 INTERNATIONAL RESIDENTIAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2014 NATIONAL ELECTRICAL CODE
- 2021 INTERNATIONAL FIRE CODE
- 2021 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 2021 INTERNATIONAL ENERGY CONSERVATION CODE
- 2021 NFPA 801 (SPRINKLERS)
- 2021 NFPA 802 (ACCESSIBILITY CODE)

**ALLOWABLE BUILDING HEIGHTS & AREAS**

USE GROUP	B	(PER IBC SECTION 504.1)
S-1	1	(PER IBC SECTION 511.3)
CONSTRUCTION TYPE	IB	(PER IBC SECTION 602.2)

**EXISTING WAREHOUSE: B, S-1**

ALLOWABLE STORIES:	3	(PER IBC TABLE 504.4)
ACTUAL STORIES:	1	
ALLOWABLE AREA:	70,000 SF	(PER IBC TABLE 506.2)
ACTUAL AREA:	7517 SF, 60,283 SF	
ALLOWABLE HEIGHT:	75' - 0"	(PER IBC TABLE 504.3)
ACTUAL HEIGHT:	40' - 0"	

**EXISTING AUXILIARY WAREHOUSE: S-1**

ALLOWABLE STORIES:	2	(PER IBC TABLE 504.4)
ACTUAL STORIES:	1	
ALLOWABLE AREA:	17,500 SF	(PER IBC TABLE 506.2)
ACTUAL AREA:	3,319 SF	
ALLOWABLE HEIGHT:	55' - 0"	(PER IBC TABLE 504.3)
ACTUAL HEIGHT:	25' - 0"	

**EXISTING BUSINESS OFFICE: B**

ALLOWABLE STORIES:	4	(PER IBC TABLE 504.4)
ACTUAL STORIES:	3	
ALLOWABLE AREA:	69,000 SF	(PER IBC TABLE 506.2)
ACTUAL AREA:	15,300 SF	
ALLOWABLE HEIGHT:	75' - 0"	(PER IBC TABLE 504.3)
ACTUAL HEIGHT:	35' - 0"	

**FIRE RESISTANCE RATING REQUIREMENTS**

TYPE III-B CONSTRUCTION (PER IBC TABLE 601)

STRUCTURAL FRAME:	0 HR
BEARING WALLS:	0 HR
EXTERIOR:	0 HR
INTERIOR:	0 HR
NON-BEARING WALL & PARTITION:	0 HR
FLOOR CONSTRUCTION:	0 HR
INCLUDING SUPPORTING BEAMS & JOISTS:	0 HR
ROOF CONSTRUCTION:	0 HR
INCLUDING SUPPORTING BEAMS & JOISTS:	0 HR

**WAREHOUSE AND BUSINESS OFFICE ARE FULLY SPRINKLERED THROUGHOUT IN ACCORDANCE WITH SECTION 903.3.1.1 (NFPA 13 SPRINKLER SYSTEM) AND 903.2.10.1**

**REQUIRED SEPARATION OF OCCUPANCIES (PER IBC TABLE 508.4)**  
NO SEPARATION AMONGST B AND S-1 OCCUPANCIES

**MEANS OF EGRESS**

OCCUPANT LOADS: (IBC 2021 TABLE 1004.5)

EXISTING WAREHOUSE

150 SF PER OCCUPANT (B)	
7517 SF / 150	= 50 'B' OCCUPANTS
300 SF PER OCCUPANT (S-1)	
60,283 SF / 300	= 201 'S-1' OCCUPANTS
TOTAL:	253 OCCUPANTS

EXISTING WAREHOUSE AUXILIARY

300 SF PER OCCUPANT (S-1)	
3319 SF / 300	= 11 'S-1' OCCUPANTS
TOTAL:	12 OCCUPANTS

EXISTING BUSINESS OFFICE

150 SF PER OCCUPANT (B)	
15,300 SF / 150	= 102 'B' OCCUPANTS
TOTAL:	102 OCCUPANTS

**EXIT TRAVEL DISTANCE: (IBC 2021 TABLE 1017.2)**  
(B) 250 FT MAX. (WITH SPRINKLER SYSTEM)  
(S-1) 400 FT MAX. (WITH SPRINKLER SYSTEM, PER 1017.2.2)

**CORRIDOR RATING: (IBC 2021 TABLE 1020.1)**  
NOT REQUIRED WITH A NFPA 13 SPRINKLER SYSTEM

**DEAD-END CORRIDOR: (IBC 2021 SECTION 1020.4)**  
EXIT ACCESS SHALL BE ARRANGED SUCH THAT THERE ARE NO DEAD ENDS IN CORRIDORS MORE THAN 20 FEET IN LENGTH.

**MINIMUM EXIT REQUIREMENTS: (IBC 2021 TABLE 1006.3.1)**  
2 REQUIRED

**MINIMUM PLUMBING FIXTURES: (IBC 2021 TABLE 2802.1)**  
EXISTING WAREHOUSE:  
3 TOILET REQUIRED, 4 PROVIDED  
3 LAVATORY REQUIRED, 4 PROVIDED  
1 DRINKING FOUNTAIN REQUIRED, 3 PROVIDED

EXISTING WAREHOUSE AUXILIARY  
1 TOILET REQUIRED, 0 PROVIDED  
1 LAVATORY REQUIRED, 0 PROVIDED  
1 DRINKING FOUNTAIN REQUIRED, 0 PROVIDED

EXISTING BUSINESS OFFICE  
3 TOILET REQUIRED, 10 PROVIDED  
2 LAVATORY REQUIRED, 6 PROVIDED  
1 DRINKING FOUNTAIN REQUIRED, 1 PROVIDED

\* (IBC 2021 2802.3.5) EXISTING TOILET FACILITIES DO NOT EXCEED A TRAVEL DISTANCE OF 500 FT

\*\* (IBC 2021 2802.5) EXISTING DRINKING FOUNTAIN DOES NOT EXCEED A TRAVEL DISTANCE OF 500 FT

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**Proposed: KIRKWOOD PUBLIC WORKS RENOVATION**  
545 LEFFINGWELL AVE.

**LIFE SAFETY PLAN**

No. 1  
Date: 4/10/2026  
Revision: A011

Project No. 24059  
Sheet No. A011  
Date: 04/10/2026

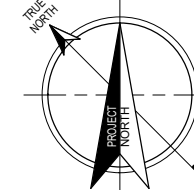






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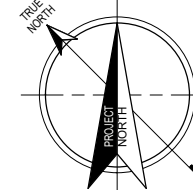
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A1

## WAREHOUSE DEMOLITION FLOOR PLAN -MEZZANINE

1/8" = 1'-0"



A3

## WAREHOUSE DEMOLITION REFLECTED CEILING PLAN -MEZZANINE

1/8" = 1'-0"

### KEYED NOTES DEMO PLAN

MARK	DESCRIPTION
1	REMOVE EXISTING RESILIENT BASE AND FLOORING IN THIS SPACE.
2	REMOVE EXISTING PLUMBING FIXTURES -TOILET, LAVATORY, FAUCET AND VANITY. -SEE PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
3	REMOVE EXISTING WATERCLOSET. -SEE PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
4	REMOVE EXISTING SHOWER, SHOWER CONTROLS AND DRAIN. -SEE PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
5	REMOVE EXISTING SOLED CARPET TILE THIS AREA. DESIGN INTENT IS TO REPLACE SOLED TILES USING OWNERS 24 BOXES OF CARPET TILE STORED ON THE THIRD FLOOR. CONFIRM QUANTITIES. RETAIN ANY "CLEAN" TILES TO BE SHUFFLED INTO AREAS TO REPLACE OTHER VISIBLY "SOILED" CARPET TILES.
6	REMOVE EXISTING INTERIOR PARTITION (TYP.)
7	REMOVE EXISTING DOOR, DOOR FRAME AND DOOR HARDWARE.
8	REMOVE EXISTING INTERIOR GLAZING AND FRAME.
9	REMOVE EXISTING URINAL. -SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
10	REMOVE EXISTING TOILET PARTITION.
11	DEMOLISH PORTION OF CMU PARTITION FOR 10'-0" X 14'-1" OPNG.
12	REMOVE ALL EXISTING CASEWORK AND COUNTERTOP.
13	REMOVE EXISTING REFRIGERATOR.
14	REMOVE EXISTING CONCRETE STAIR AND HANDRAILS.
15	REMOVE EXISTING WOOD STAIR, GUARDRAIL AND HANDRAILS.
16	REMOVE EXISTING INTERIOR PARTITION, AND FLOOR SYSTEM ABOVE INCLUDING DECKING AND SUPPORTING JOIST FRAMING ABOVE.
17	REMOVE EXISTING FLOOR, FLOOR STRUCTURE & CEILING BELOW.
18	REMOVE ALL EXISTING WIRE MESH PARTITION, GATES AND POSTS.
19	EXISTING CONCRETE RAMP TO REMAIN.
20	GO TO CLEAN AND REMOVE ALL STRIPING FROM EXISTING WAREHOUSE CONCRETE SLAB.
21	REMOVE ALL FLOORING WALLS CEILINGS AND LIGHTING THIS AREA. -REFERENCE M.E.P./P.P. FOR ADDITIONAL INFORMATION.
22	EXISTING ROOF HATCH AND LADDER TO REMAIN.
23	EXISTING INTERIOR WINDOW SILL TO REMAIN.
24	REMOVE EXISTING FABRIC AWNING AND ALUMINUM FRAME.
25	EXISTING WORKSTATION PARTITIONS, OFFICE FURNITURE, AND CASEWORK TO REMAIN.
27	CLEAN AND PREP FLOOR TO RECEIVE NEW FLOOR FINISHES AS SCHEDULED.
28	CUT AND REMOVE EXISTING PIPING, PATCH AND REPAIR EXISTING SLAB AND METAL DECKING WHERE THIS OCCURS. -SEE PLUMBING DRAWINGS FOR ADDITIONAL PLUMBING INFORMATION.
30	EXISTING DUCTWORK TO REMAIN. -SEE MECHANICAL DRAWINGS.
31	EXISTING STAIR, GUARDRAIL, AND HANDRAILS TO REMAIN.
32	EXISTING ELEVATOR AND DOOR TO REMAIN.
33	EXISTING STEEL COLUMN TO REMAIN.
34	EXISTING STOREFRONT AND GLAZING TO REMAIN.
35	DEMOLISH EXISTING METAL DOCK PROTECTOR GUARDS.
36	EXISTING METAL DOCK PROTECTOR GUARDS TO REMAIN.
37	EXISTING COLLING OVERHEAD DOOR AND TRACK TO REMAIN.
38	DEMOLISH EXISTING GUARDRAILS, POSTS, PLATES, AND FASTENERS. PATCH AND REPAIR CONCRETE SLAB AND MASONRY PARTITION OF EFFECTED AREA AFTER REMOVAL.
39	REMOVE EXISTING WATER HEATER. REFERENCE PLUMBING DRAWINGS.
40	EXISTING UPPER CABINETS, COUNTER TOP, AND BASE FILE CABINETS TO REMAIN.
41	REMOVAL OF EXISTING WORKSTATION PARTITION BY OWNER.
42	DEMOLISH PORTION OF EXISTING CONCRETE SLAB AS INDICATED. REFERENCE STRUCTURAL DRAWINGS.
43	EXISTING VCT & VINYL BASE TO REMAIN. SEE FLOOR FINISH PLAN FOR EXTENT OF NEW WORK.
44	PUBLIC RESTROOMS: REMOVE EXISTING TOILET PARTITION, ALL BRACING, URINAL SCREENS, GRAB BARS, & TOILET ACCESSORIES. RETAIN FOR REINSTALLATION. CARE IS TO BE EXERCISED NOT TO DAMAGE THESE ITEMS DURING CONSTRUCTION.
45	PUBLIC RESTROOMS: DEMO EXISTING FLOOR AND WALL TILE.
46	LOBBY: REMOVE EXISTING CARPET TILE & VINYL BASE THIS AREA. PREP FLOOR FOR NEW TILE & TILE BASE.
47	REMOVE DAMAGED VCT FLOORING & BASE ON STAIR LANDING. PREP FOR NEW TILE.
48	DEMO EXISTING AWING STEEL SUPPORTS AND FABRIC WRAP. PATCH ANY OPENINGS ON CMU WALL CAUSED BY REMOVAL.
49	EXISTING DOCK LEVELER TO REMAIN.
50	EXISTING CONCRETE RAMP AND GUARD RAIL TO REMAIN.
51	REMOVE EXISTING DOCK BUMPERS AND METAL GUARDS. PREPARE SURFACE TO RECEIVE CONCRETE RAMP.
52	REMOVE EXISTING OVERHEAD DOOR, HOOD, AND HARDWARE. CARE IS TO BE EXERCISED NOT TO DAMAGE THESE ITEMS DURING CONSTRUCTION FOR RE-INSTALLATION.
53	DEMOLISH PORTION OF CMU PARTITION FOR 7'-0" X 3'-4" OPNG.
54	AT ALL TRENCH DRAIN DEMO CUTS PROVIDE CLEAN CUTS WITHOUT OVER-RUN CUTS.
55	DEMOLISH CONCRETE SLAB AND WALL DEMO PER STRUCTURAL DWGS.
56	ALTERNATE #6 - DEMOLISH PORTION OF EXISTING CONCRETE SLAB AS INDICATED. REFERENCE STRUCTURAL DRAWINGS.

### KEYED NOTES DEMO REF. CLG. PLAN

MARK	DESCRIPTION
1	EXISTING CEILING TILES, LIGHT FIXTURES, GRILLES, GRID, AND, IF APPLICABLE, FIRE SPRINKLER TO REMAIN.
2	EXISTING GYP CEILING, LIGHT FIXTURES, GRILLES, AND, IF APPLICABLE, FIRE SPRINKLER TO REMAIN.
3	REMOVE EXISTING LAY-IN PANEL, CEILING, CEILING GRID, LIGHTING AND MECH. DIFFUSERS & RETURN AIR GRILLES, AND SPRINKLER HEADS IF APPLICABLE. TYP. THIS SPACE. -REFERENCE M.E.P./P.P. DWGS FOR ADDITIONAL INFORMATION.
4	REMOVE GYPSUM BOARD CEILING, CEILING FRAMING AND/OR CEILING SUSPENSION GRID, ALL LIGHTING, MECHANICAL SUPPLY & RETURN DIFFUSER AND SPRINKLERHEADS IF APPLICABLE. -REFERENCE M.E.P./P.P. DWGS FOR ADDITIONAL INFORMATION.
5	EXISTING ROOF HATCH AND LADDER TO REMAIN.
6	REMOVE EXISTING LIGHTING. -REFERENCE ELECTRICAL DWGS FOR ADDITIONAL INFORMATION.
7	REMOVE ALL LIGHT FIXTURES UNDER MEZZANINE THIS AREA. -REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
8	REMOVE AND SALVAGE EXISTING OVERHEAD DOOR AND HOOD. RE-INSTALL OVERHEAD DOOR AND HOOD AT LOCATIONS INDICATED ON XXX.
9	REMOVE EXISTING CEILING AND LIGHTING. -SEE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
10	REMOVE EXISTING WOOD STAIR AND RAIL IN ITS ENTIRETY.
11	REMOVE EXISTING LIGHTING AND HVAC EQUIPMENT. REFERENCE ELECTRICAL AND MECHANICAL DRAWINGS.
12	REMOVE AND SALVAGE EXISTING MECH. SUPPLY AND RETURN AIR GRILLE. CLEAN AND RE-INSTALLATION INTO NEW METAL GRID. REF MECH DWGS FOR ADDITIONAL INFORMATION.
13	REMOVE AND SALVAGE EXISTING LIGHT FIXTURE FOR REINSTALLATION DURING CONSTRUCTION.
14	REMOVE ALL LIGHT FIXTURES IN WAREHOUSE AUXILIARY BUILDING. REFERENCE ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
15	DEMOLISH PORTION OF CMU PARTITION FOR 6'-0" WIDE, 9'-0" HIGH OPENING.
16	REMOVE EXISTING UNIT HEATER. REFERENCE MECHANICAL DRAWINGS.
17	EXISTING DUCTWORK TO REMAIN. REFERENCE MECHANICAL DRAWINGS.

No. 1 Date 4/10/2026

Revision 1

Proposed:

KIRKWOOD PUBLIC WORKS

RENOVATION

545 LEFFINGWELL AVE.

WAREHOUSE DEMO PLANS -MEZZ.

Project No. 24059

Sheet No.

AD102

Date 04/10/2026

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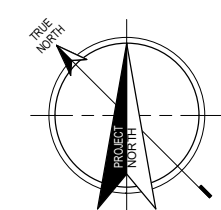
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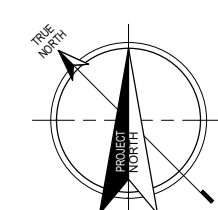
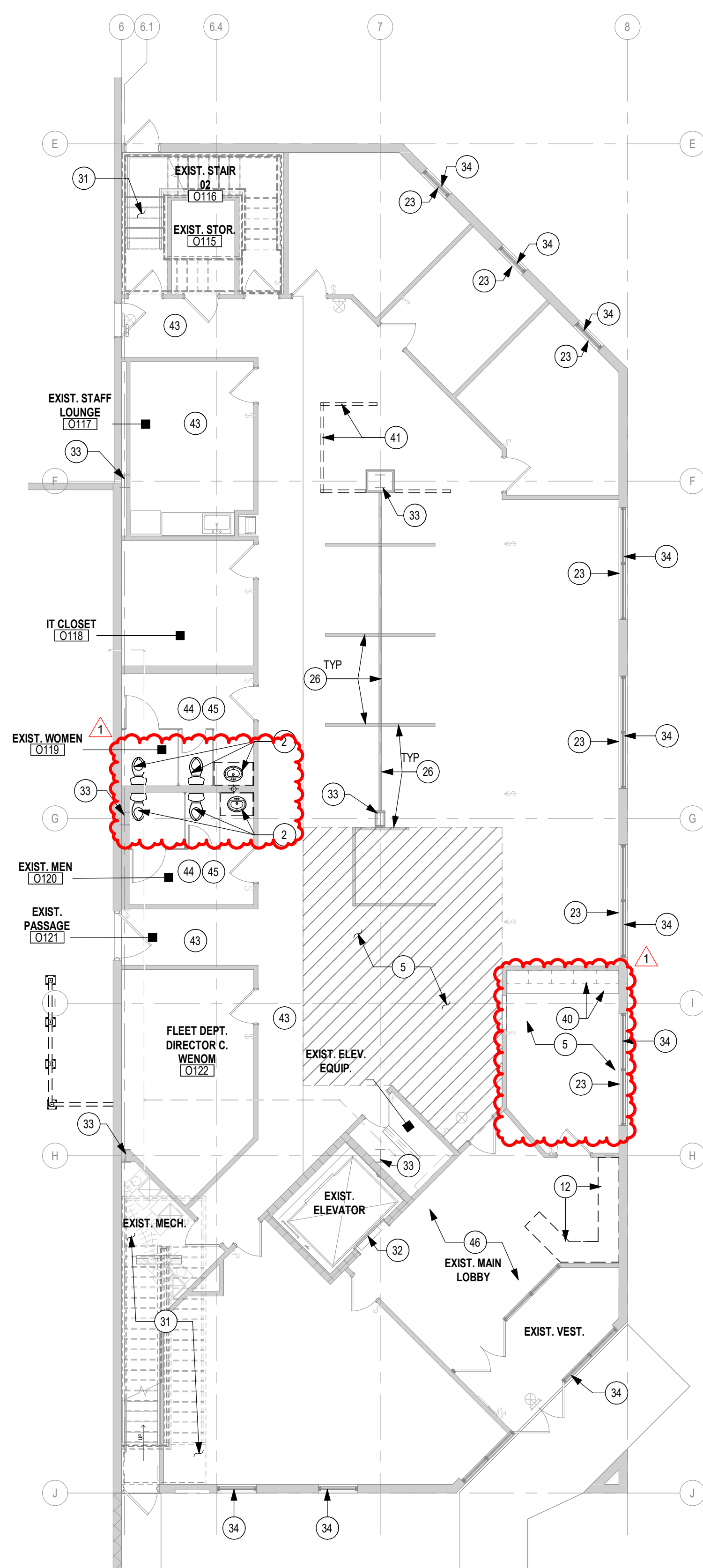
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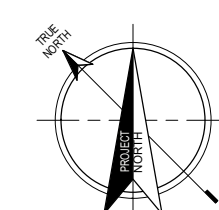
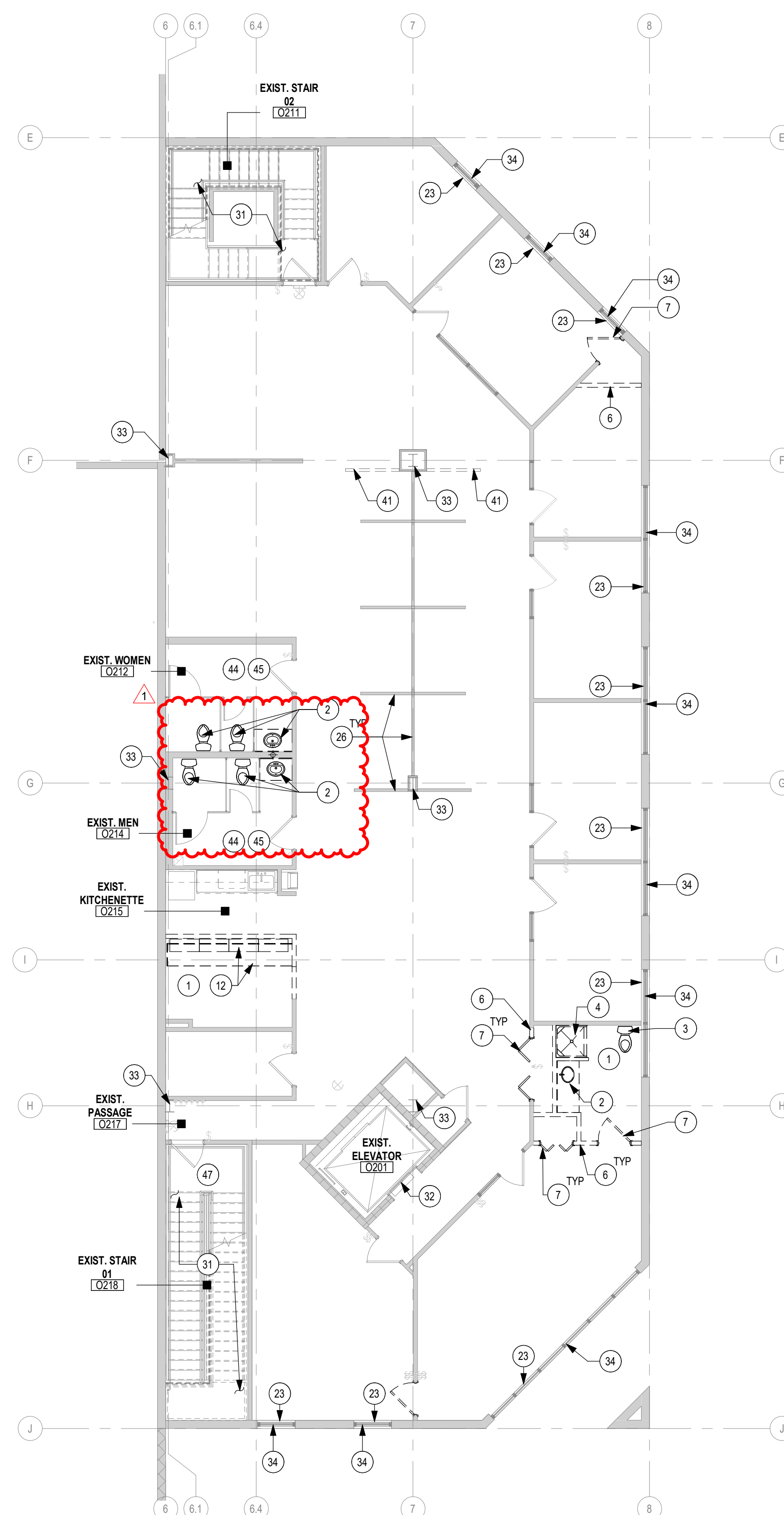
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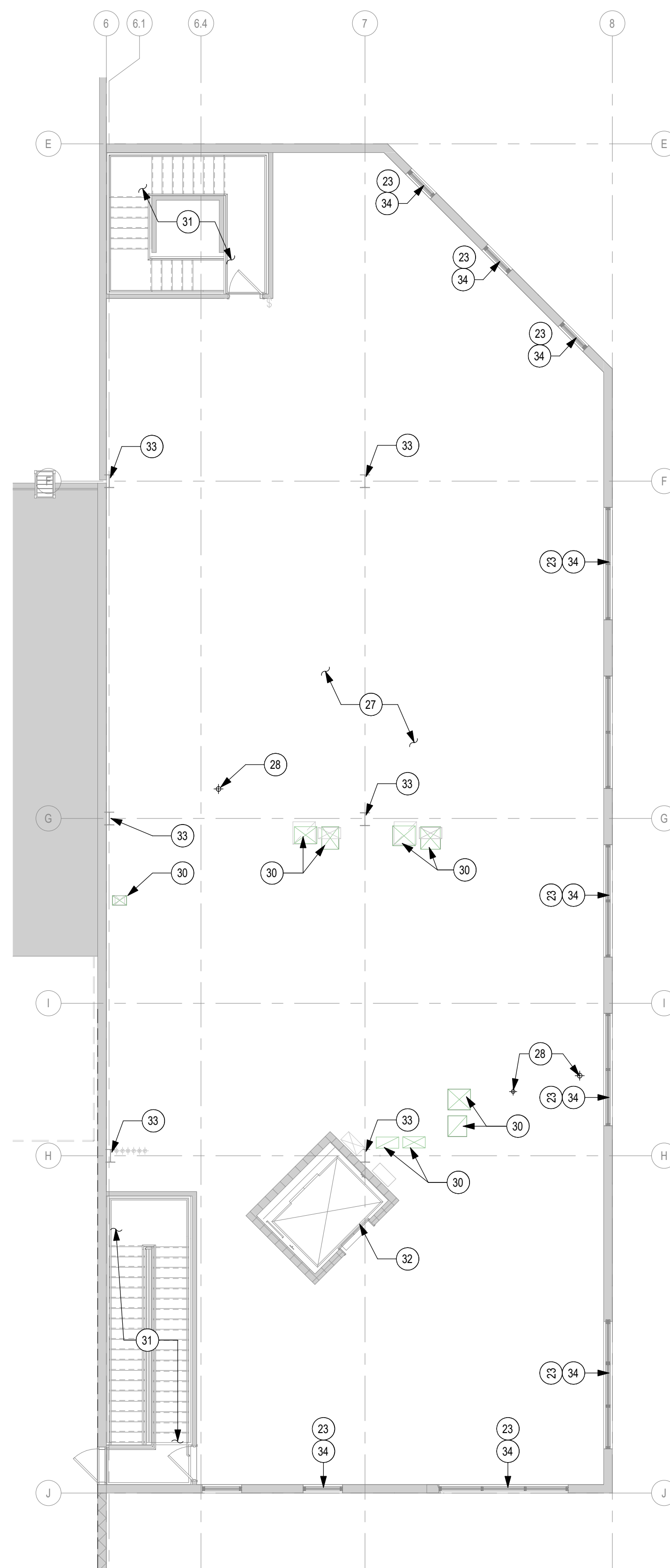
**A1 BUSINESS OFFICE DEMOLITION FLOOR PLAN - LEVEL 01**  
1/8" = 1'-0"



**A3 BUSINESS OFFICE DEMOLITION FLOOR PLAN - LEVEL 02**  
1/8" = 1'-0"



**A5 BUSINESS OFFICE DEMOLITION FLOOR PLAN - LEVEL 03**  
1/8" = 1'-0"



## KEYED NOTES DEMO PLAN

MARK	DESCRIPTION
1	REMOVE EXISTING RESILIENT BASE AND FLOORING IN THIS SPACE
2	REMOVE EXISTING PLUMBING FIXTURES (TOILET, LAVATORY, FAUCET AND SINK). SEE PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
3	REMOVE EXISTING WATER CLOSET. SEE PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
4	REMOVE EXISTING SHOWER, SHOWER CONTROLS AND DRAIN. SEE PLUMBING DWGS. FOR ADDITIONAL INFORMATION.
5	REMOVE EXISTING SOILED CARPET TILE THIS AREA. DESIGN INTENT IS TO REPLACE SOILED TILES USING OWNERS 24 BOXES OF CARPET TILE STORED ON THE THIRD FLOOR. CONFIRM QUANTITIES. RETAIN ANY "CLEAN" TILES TO BE SHUFFLED INTO AREAS TO REPLACE OTHER VISIBLY SOILED CARPET TILES.
6	REMOVE EXISTING INTERIOR PARTITION (TYP.).
7	REMOVE EXISTING DOOR, DOOR FRAME AND DOOR HARDWARE.
8	REMOVE EXISTING INTERIOR GLAZING AND FRAME.
9	REMOVE EXISTING URINAL. SEE PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION.
10	REMOVE EXISTING TOILET PARTITION.
11	DEMOLISH PORTION OF CMU PARTITION FOR 10'-0" X 14'-1" OPNG.
12	REMOVE ALL EXISTING CASEWORK AND COUNTERTOP.
13	REMOVE EXISTING REFRIGERATOR.
14	REMOVE EXISTING CONCRETE STAIR AND HANDRAILS.
15	REMOVE EXISTING WOOD STAIR, GUARDRAIL AND HANDRAILS.
16	REMOVE EXISTING INTERIOR PARTITION, AND FLOOR SYSTEM ABOVE INCLUDING DECKING AND SUPPORTING JOIST FRAMING ABOVE.
17	REMOVE EXISTING FLOOR, FLOOR STRUCTURE & CEILING BELOW.
18	REMOVE ALL EXISTING WIRE MESH PARTITION, GATES AND POSTS.
19	EXISTING CONCRETE RAMP TO REMAIN.
20	GO TO CLEAN AND REMOVE ALL STRIPING FROM EXISTING WAREHOUSE CONCRETE SLAB.
21	REMOVE ALL FLOORING WALLS CEILINGS AND LIGHTING THIS AREA. REFERENCE M.E.P. FOR ADDITIONAL INFORMATION.
22	EXISTING ROOF HATCH AND LADDER TO REMAIN.
23	EXISTING INTERIOR WINDOW SILL TO REMAIN.
24	REMOVE EXISTING FABRIC AWNING AND ALUMINUM FRAME.
25	EXISTING WORKSTATION PARTITIONS, OFFICE FURNITURE, AND CASEWORK TO REMAIN.
27	CLEAN AND PREP FLOOR TO RECEIVE NEW FLOOR FINISHES AS SCHEDULED.
28	CUT AND REMOVE EXISTING PIPING. PATCH AND REPAIR EXISTING SLAB AND METAL DECKING WHERE THIS OCCURS. SEE PLUMBING DRAWINGS FOR ADDITIONAL PLUMBING INFORMATION.
30	EXISTING DUCTWORK TO REMAIN. SEE MECHANICAL DRAWINGS.
31	EXISTING STAIR, GUARDRAIL, AND HANDRAILS TO REMAIN.
32	EXISTING ELEVATOR AND DOOR TO REMAIN.
33	EXISTING STEEL COLUMN TO REMAIN.
34	EXISTING STOREFRONT AND GLAZING TO REMAIN.
35	DEMOLISH EXISTING METAL DOCK PROTECTOR GUARDS.
36	EXISTING METAL DOCK PROTECTOR GUARDS TO REMAIN.
37	EXISTING COILING OVERHEAD DOOR AND TRACK TO REMAIN.
38	DEMOLISH EXISTING GUARDRAILS, POSTS, PLATES, AND FASTENERS. PATCH AND REPAIR CONCRETE SLAB AND MASONRY PARTITION OF EFFECTED AREA AFTER REMOVAL.
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41	REMOVAL OF EXISTING WORKSTATION PARTITION BY OWNER.
42	DEMOLISH PORTION OF EXISTING CONCRETE SLAB AS INDICATED. REFERENCE STRUCTURAL DRAWINGS.
43	EXISTING VCT & VINYL BASE TO REMAIN. SEE FLOOR FINISH PLAN FOR EXTENT OF NEW WORK.
44	PUBLIC RESTROOMS: REMOVE EXISTING TOILET PARTITION, ALL BRACING, URINAL SCREENS, GRAB BARS, & TOILET ACCESSORIES. RETAIN FOR REINSTALLATION. CARE IS TO BE EXERCISED NOT TO DAMAGE THESE ITEMS DURING CONSTRUCTION.
45	PUBLIC RESTROOMS: DEMO EXISTING FLOOR AND WALL TILE.
46	LOBBY: REMOVE EXISTING CARPET TILE & VINYL BASE THIS AREA. PREP FLOOR FOR NEW TILE & TILE BASE.
47	REMOVE DAMAGED VCT FLOORING & BASE ON STAIR LANDING. PREP FOR NEW TILE.
48	DEMO EXISTING AWING STEEL SUPPORTS AND FABRIC WRAP. PATCH ANY OPENINGS ON CMU WALL CAUSED BY REMOVAL.
49	EXISTING DOCK LEVELER TO REMAIN.
50	EXISTING CONCRETE RAMP AND GUARD RAIL TO REMAIN.
51	REMOVE EXISTING DOCK BUMPERS AND METAL GUARDS. PREPARE SURFACE TO RECEIVE CONCRETE RAMP.
52	REMOVE EXISTING OVERHEAD DOOR, WOOD, AND HARDWARE. CARE IS TO BE EXERCISED NOT TO DAMAGE THESE ITEMS DURING CONSTRUCTION FOR RE-INSTALLATION.
53	DEMOLISH PORTION OF CMU PARTITION FOR 7'-0" X 3'-4" OPNG.
54	AT ALL TRENCH DRAIN DEMO CUTS PROVIDE CLEAN CUTS WITHOUT OVER-RUN CUTS.
55	DEMOLISH CONCRETE SLAB AND WALL DEMO PER STRUCTURAL DWGS.
56	ALTERNATE - DEMOLISH PORTION OF EXISTING CONCRETE SLAB AS INDICATED. REFERENCE STRUCTURAL DRAWINGS.

Proposed:

**KIRKWOOD PUBLIC WORKS  
RENOVATION**

545 LEFFINGWELL AVE.

No. 1  
Date 4/10/2026  
Revision

Project No.  
**24059**

Date  
**04/10/2026**

Sheet No.  
**AD104**

**OFFICE DEMOLITION FLOOR PLAN**

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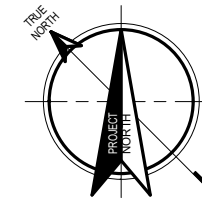






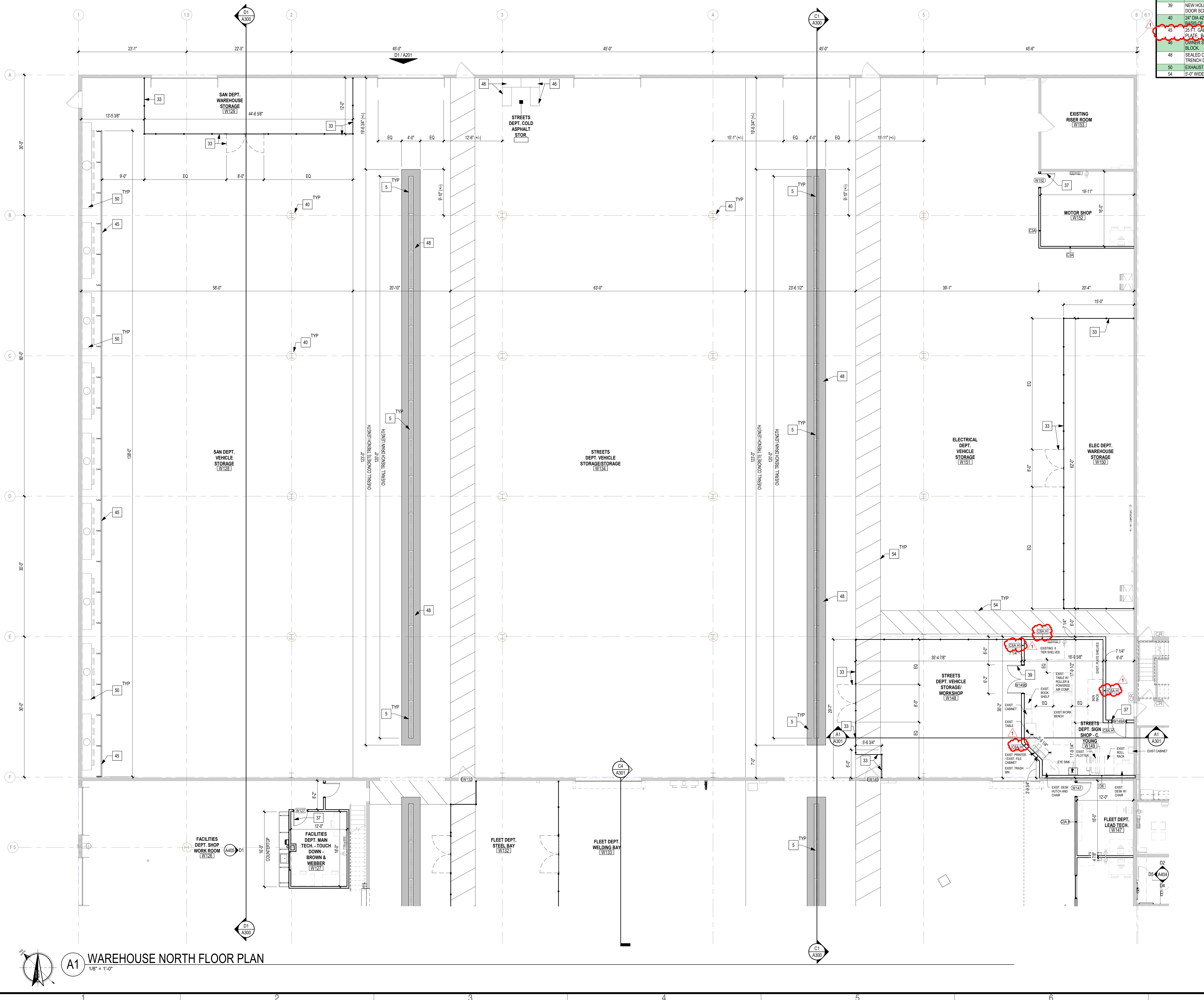
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# A1 WAREHOUSE NORTH FLOOR PLAN

1/8" = 1'-0"



## KEYED NOTES FLOOR PLAN

MARK	DESCRIPTION
5	12" WIDE X 96" LONG HEAVY DUTY METAL GRATE AND TRENCH DRAIN. CENTER DRAINS WITHIN CONCRETE TRENCH. REFERENCE PLUMBING DRAWINGS FOR DRAIN INFORMATION.
33	8'-0" HIGH CHAIN LINK FENCE AND GATE.
37	NEW HOLLOW METAL DOOR, FRAME, AND HARDWARE. REFERENCE DOOR SCHEDULE.
39	NEW HOLLOW METAL DOUBLE DOOR, FRAME, AND HARDWARE. REFERENCE DOOR SCHEDULE.
40	24" DIA 42" HIGH LINEAR LOW DENSITY POLYETHYLENE COLUMN PROTECTION. BASIS OF DESIGN. SBR/TPR PROTECTION. (C3445-12)
45	25 FT. GALV. METAL HIGHWAY GUARDRAIL (W-BEAM) ON W6X8 STEEL POSTS ON PLATE. BASIS OF DESIGN. (W6X8 U.S. BARRICADES)
46	OWNER SUPPLIED. CONTRACTOR INSTALLED EXISTING CONCRETE LEGO BLOCK.
48	SEALED CONCRETE TRENCH SLOPED 1/8" PER 12" TOWARDS DRAINS TOWARDS TRENCH DRAINS. REFERENCE STRUCTURE DRAWINGS.
50	EXHAUST HOOD SYSTEM. REFERENCE MECHANICAL DRAWINGS.
54	6'-0" WIDE WALK PATH STRIPING PAINTED BY OWNER P3.

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**KIRKWOOD PUBLIC WORKS  
RENOVATION**

545 LEFFINGWELL AVE.

Revision

No. 1 Date 4/10/2026

ADDITIONAL1

Project No.  
24059

Sheet No.

**A102**

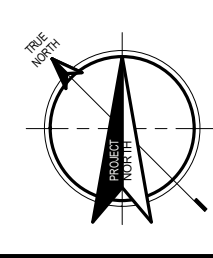
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WAREHOUSE NORTH FLOOR PLAN

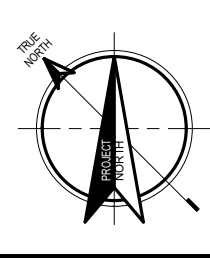
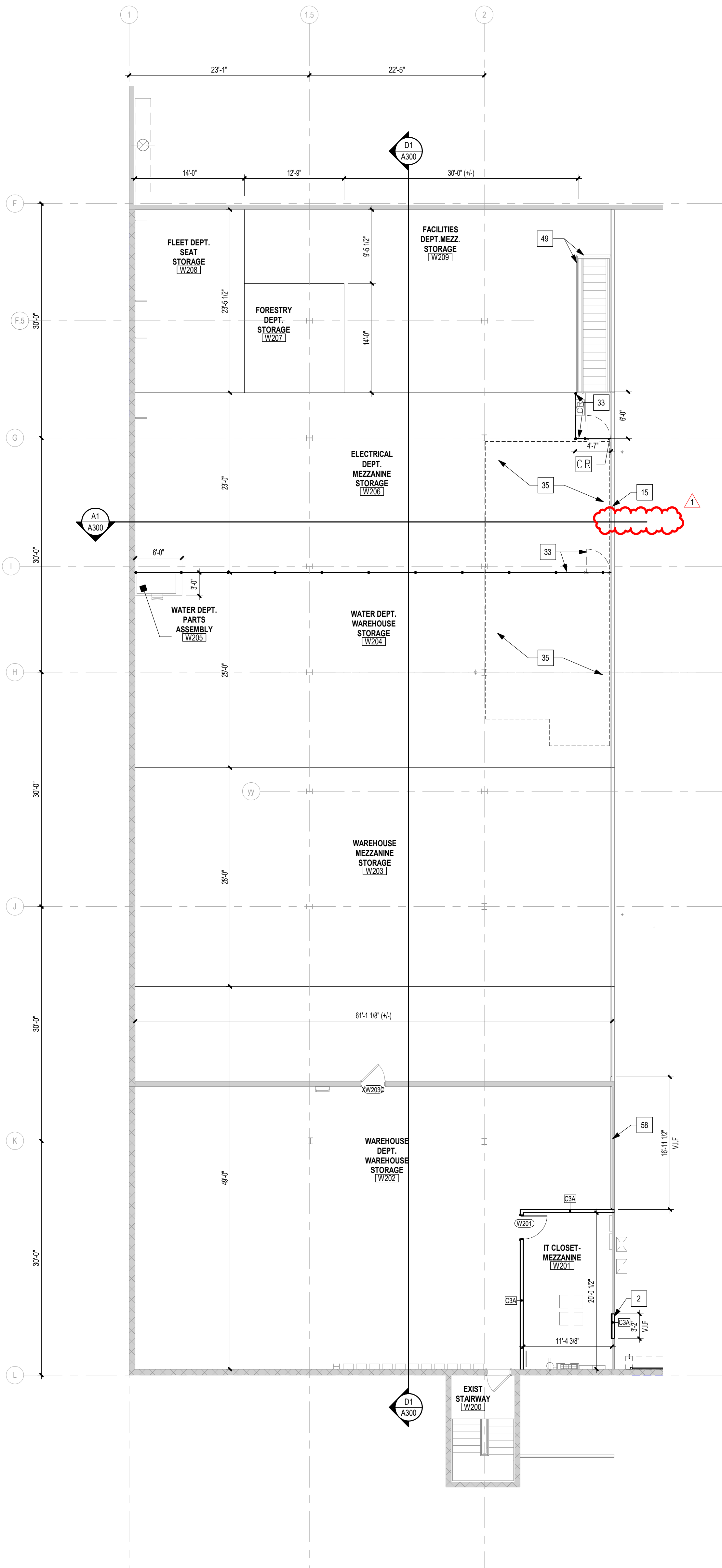
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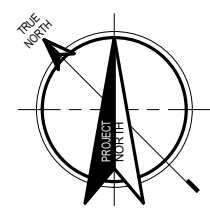
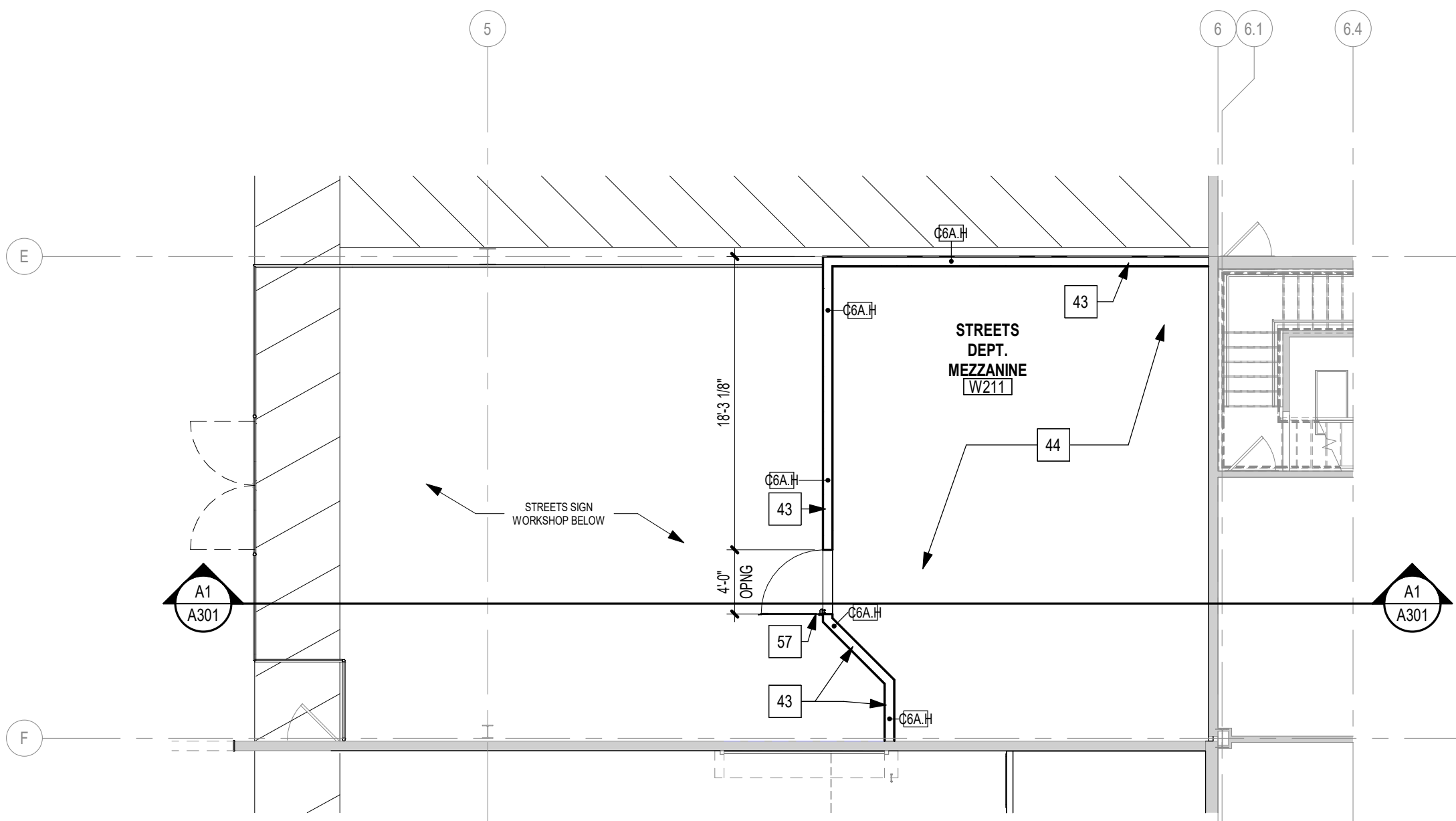
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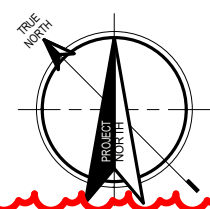
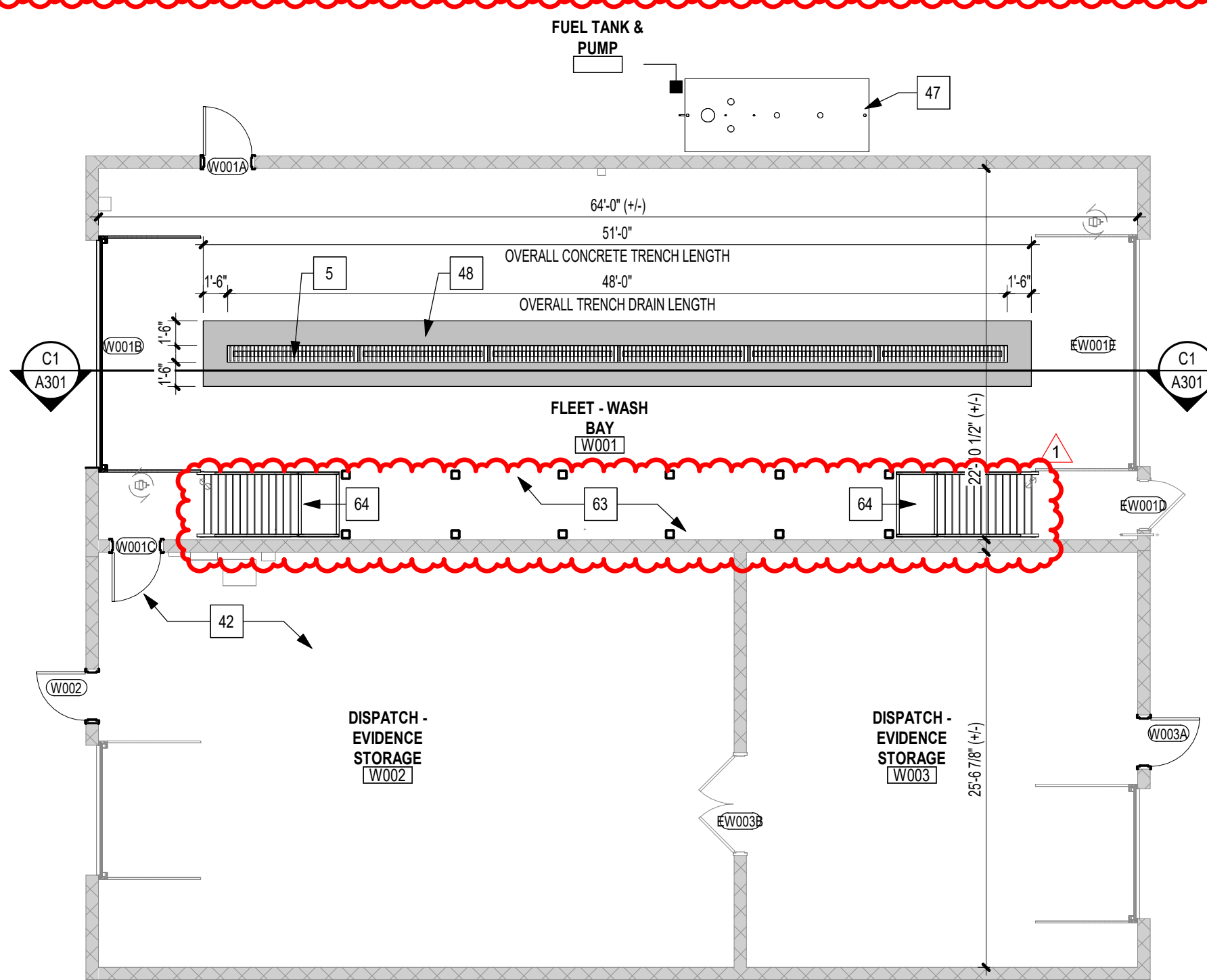
**A1 WAREHOUSE MEZZANINE FLOOR PLAN**  
1/8" = 1'-0"



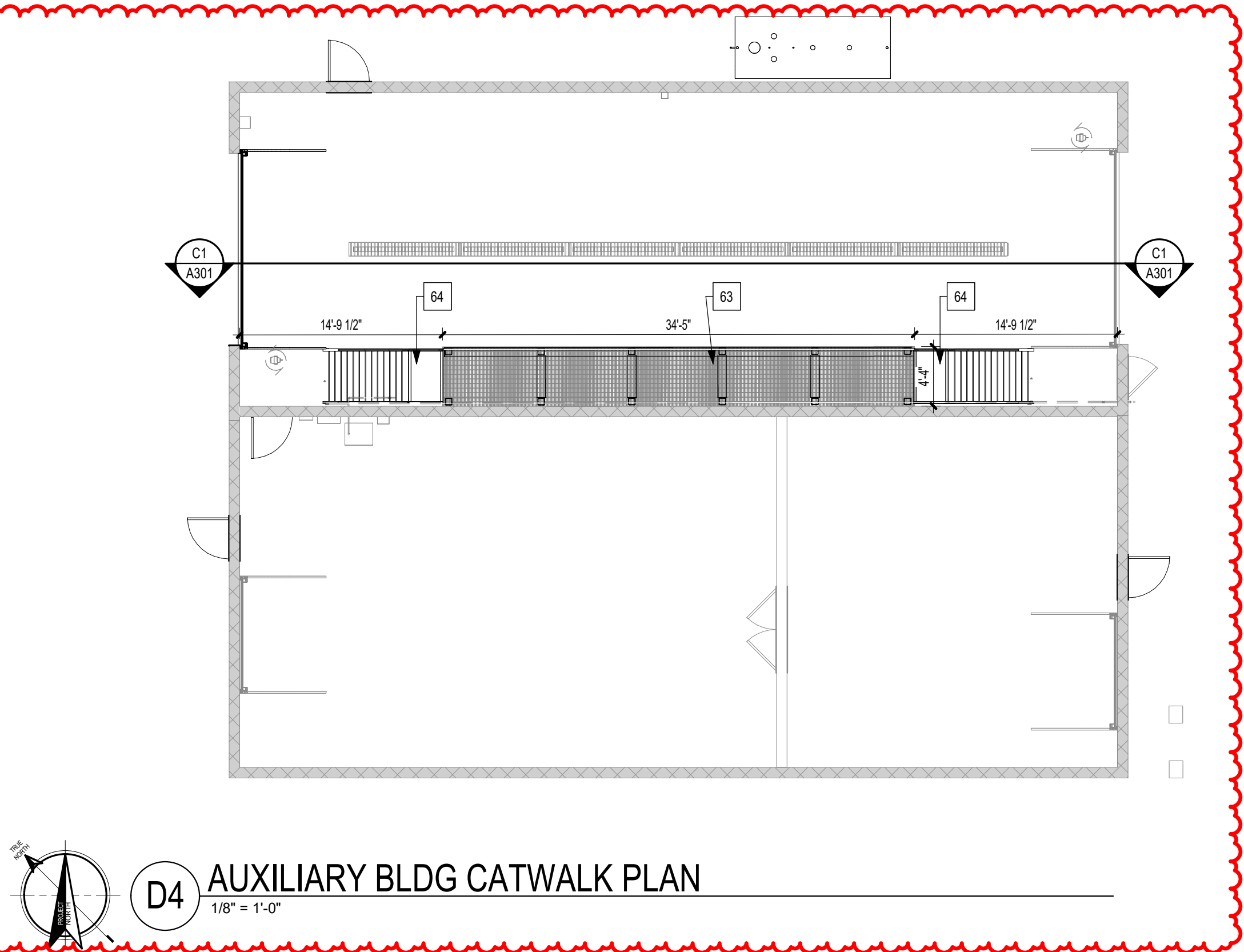
**A4 STREET MEZZANINE**  
1/8" = 1'-0"



**B4 AUXILIARY BLDG FLOOR PLAN**  
1/8" = 1'-0"



**D4 AUXILIARY BLDG CATWALK PLAN**  
1/8" = 1'-0"



## KEYED NOTES FLOOR PLAN

MARK	DESCRIPTION
2	CFMF PARTITION INFILL GC TO VIF. OPNG SIZE.
5	12" WIDE X 96" LONG HEAVY DUTY METAL GRATE AND TRENCH DRAIN. CENTER DRAINS WITHIN CONCRETE TRENCH. REFERENCE PLUMBING DRAWINGS FOR DRAIN INFORMATION.
15	PAINTED EXISTING REMOVABLE GUARDRAIL. RE-INSTALL RAIL MOUNTING CHANNEL TO SLAB. RE-ATTACH RAIL WITH EXISTING PIN & SYSTEM.
35	PAINTED EXISTING REMOVABLE GUARDRAIL. RE-INSTALL RAIL MOUNTING CHANNEL TO SLAB. RE-ATTACH RAIL WITH EXISTING PIN & SYSTEM.
35	ALTERNATE #3 - CONCRETE (CC 500) STORM SHELTER LID UNDERNEATH MEZZANINE. SEE STRUCT. DWGS.
42	PATCH EXISTING CONCRETE FLOOR AND APPLY SC FINISH. REFERENCE FINISH SCHEDULE.
43	PARTITION GUARDRAIL 42" HIGH AT STREETS DEPT MEZZANINE.
44	3/4" SHEATHING OVER NORTHSOUTH SPANNING 10" MTL STUD @ 16" OC WITH BATT INSULATION BETWEEN STUDS AND PAINTED 5/8" ABUSE RESISTANT (VH) GYP BD. UNDERNEATH.
47	OWNER SUPPLIED. CONTRACTOR INSTALLED EXISTING FUEL TANK AND PUMP.
48	SEALED CONCRETE TRENCH SLOPED 1/8" PER 12" TOWARDS DRAINS TOWARDS TRENCH DRAINS. REFERENCE STRUCTURE DRAWINGS.
49	EXISTING FIXED METAL GUARDRAIL TO REMAIN.
57	PARALLEL MOUNTED ALUM SELF-CLOSING SAFETY GATE. BASIS OF DESIGN: YELLOW GATE. INDUSTRIAL SAFETY SWING GATE.
58	NEW GUARDRAIL INSTALLED ON TO EXISTING MEZZANINE CONCRETE SLAB. GC TO VIF. LEASUREMENTS.
63	PREFABRICATED METAL CATWALK WITH METAL GRATE DECK.
64	PREFABRICATED METAL SHIPS LADDER.

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545 LEFFINGWELL AVE.

No.	Date	Revision
1	4/10/2026	ADDENDUM 1

Project No.  
**24059**  
Sheet No.  
**A103**  
Date  
**04/10/2026**

**WAREHOUSE MEZZANINE & AUXILIARY**



KEYED NOTES EXTERIOR ELEV.

MARK	DESCRIPTION
1	EXISTING CMU PARTITION TO REMAIN. SURFACE TO RECEIVE ALTERNATE #4.
2	EXISTING TILT-UP CONCRETE PARTITION TO REMAIN. SURFACE TO RECEIVE ALTERNATE #4.
3	EXISTING HOLLOW METAL DOOR TO REMAIN.
4	EXISTING OVERHEAD DOOR TO REMAIN.
5	EXISTING WINDOW TO REMAIN.
6	NEW HOLLOW METAL DOOR, FRAME, AND HARDWARE. REFERENCE DOOR SCHEDULE.
7	NEW RTU ON EXISTING ROOF. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
8	NEW EXHAUST AIR HOOD ON EXISTING ROOF. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
9	NEW CMU INFILL. GC TO VERIFY IN FIELD MEASUREMENTS.
10	NEW CONDENSER UNIT ON EXISTING ROOF. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
11	NEW MAU ON EXISTING ROOF. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
12	NEW OUTSIDE AIR ON EXISTING ROOF. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
13	EXISTING SHIP LADDER WITH PLATFORM AND RETURN TO REMAIN.
14	EXISTING SKYLIGHT TO REMAIN.
15	NEW WALL PACK LIGHT FIXTURE. REFERENCE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
16	NEW SECURITY CAMERA BY OWNER ACCESS CONTROL VENDOR. GC TO PROVIDE ROUGH-IN WIRING FOR DEVICE. COORDINATE WITH OWNER ACCESS CONTROL VENDOR AND ELECTRICAL DRAWINGS.
17	GALV. METAL HIGHWAY GUARDRAIL (W-BEAM) WITH POST AND SUPPORTING HARDWARE. BASIS OF DESIGN: GWB26 G.S. BARRICADES.
18	NEW CONCRETE DOCK RAMP. REFERENCE CIVIL DRAWINGS.
19	NEW CONCRETE STAIR, METAL GUARDRAIL AND HANDRAIL. REFERENCE DETAILS.
20	EXISTING CONCRETE STAIR AND HANDRAIL TO REMAIN.
21	NEW METAL LOUVERS. PROVIDE ARCHITECT WITH COLOR SELECTION OPTIONS PRIOR TO EXECUTION. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
22	EXISTING PRE-ENGINEERED METAL COPING / GUTTER TO REMAIN.
23	EXISTING MECHANICAL SYSTEMS ON EXISTING ROOF. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
24	EXISTING RTU TO REMAIN. REFERENCE MECHANICAL DRAWINGS FOR MORE INFORMATION.
25	EXISTING WALL PACK TO REMAIN. REFERENCE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
26	EXISTING STOREFRONT DOOR TO REMAIN.
27	EXISTING CT CABINET. REFERENCE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
28	NEW CT CABINET. REFERENCE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
29	NEW ELECTRICAL PANEL. REFERENCE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
30	ALTERNATE 1B: NEW WHOLE BUILDING GENERATOR. REFERENCE ELECTRICAL DRAWINGS FOR MORE INFORMATION.
31	RELOCATED EXISTING 14" X 12" COILING DOOR AND HOOD TO RECEIVE POWER FOR NEW OPERATOR AND CONTROLS. REFERENCE DOOR SCHEDULE.
32	EXISTING DOCK LEVELER TO REMAIN.
33	DUMPER PROVIDED AND INSTALLED DUMPER.
34	EXISTING CONCRETE RAMP AND GUARDRAIL TO REMAIN.
35	THICKEN CONCRETE WALL. REFERENCE CIVIL DRAWINGS.
36	NEW CONCRETE STAIR, METAL GUARDRAIL, AND HANDRAIL. REFERENCE DETAILS AND A101.
37	NEW 4'-0" HIGH METAL CORNER GUARDS.
38	EXISTING CONCRETE RAMP TO REMAIN.

ALTERNATE #4 - PAINT EXTERIOR. THE SCOPE SHALL INCLUDE BUT MAY NOT BE LIMITED TO PAINTING THE EXTERIOR OF THE BUILDING AS INDICATED IN THE DOCUMENTS. BASE SCOPE SHALL INCLUDE ANY PATCHING OF EXISTING PAINT DUE TO SCHEDULED IMPROVEMENTS.

D1 NORTH EXTERIOR ELEVATION  
3/32" = 1'-0"

C1 WEST EXTERIOR ELEVATION  
3/32" = 1'-0"

B1 EAST EXTERIOR ELEVATION  
3/32" = 1'-0"

A1 SOUTH EXTERIOR ELEVATION  
3/32" = 1'-0"

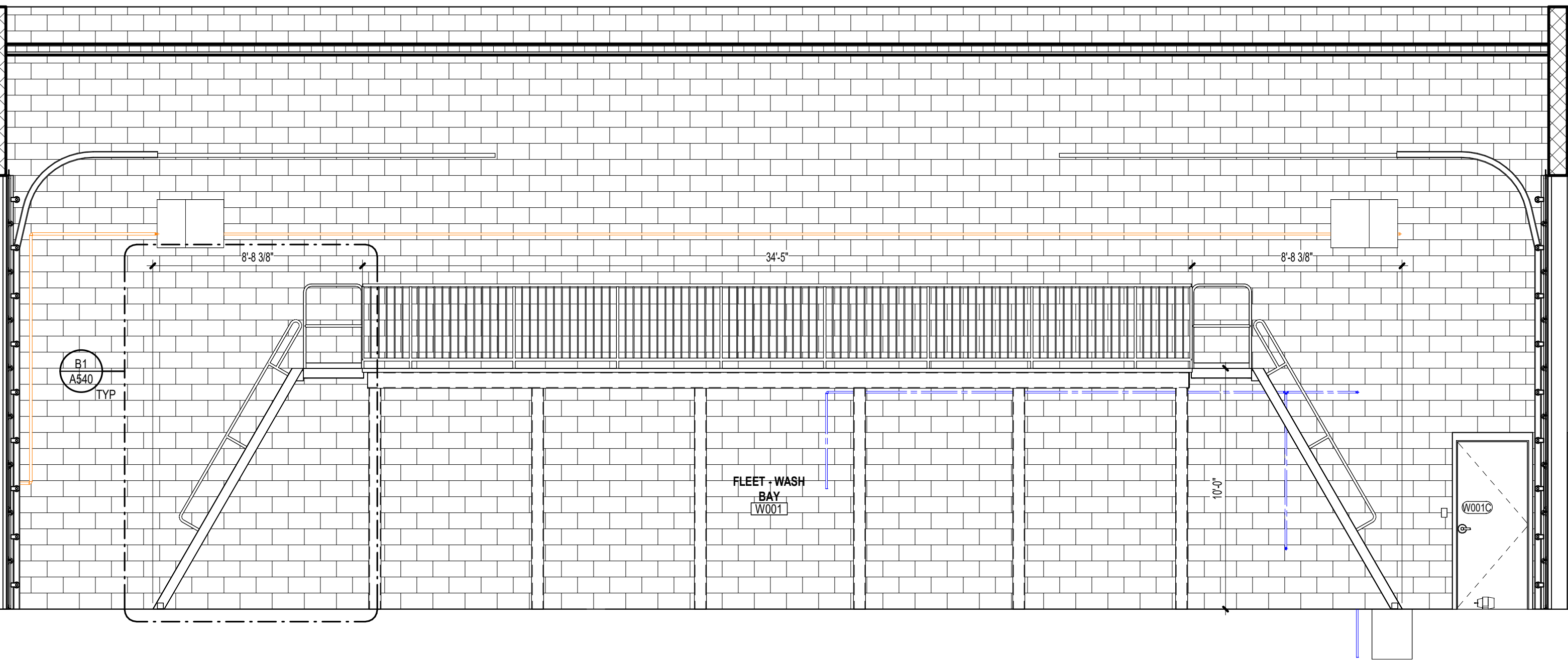
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RENOVATION  
545 LEFFINGWELL AVE.  
Proposed:  
No. 1  
Date: 4/10/2026  
Revision:  
No. 1  
Date: 4/10/2026  
Revision:

EXTERIOR ELEVATIONS  
Project No. 24059  
Sheet No. A201  
Date: 04/10/2026

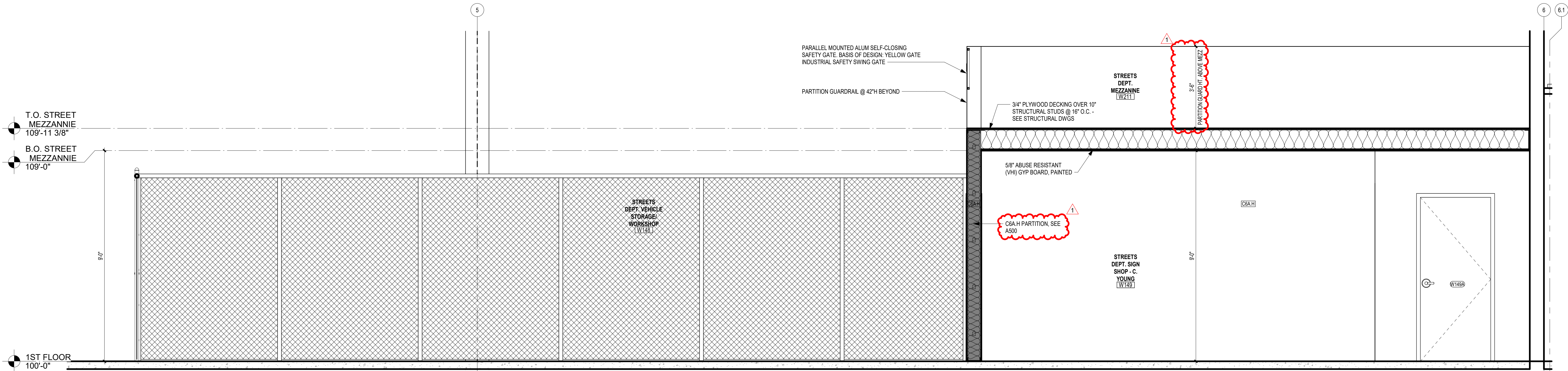


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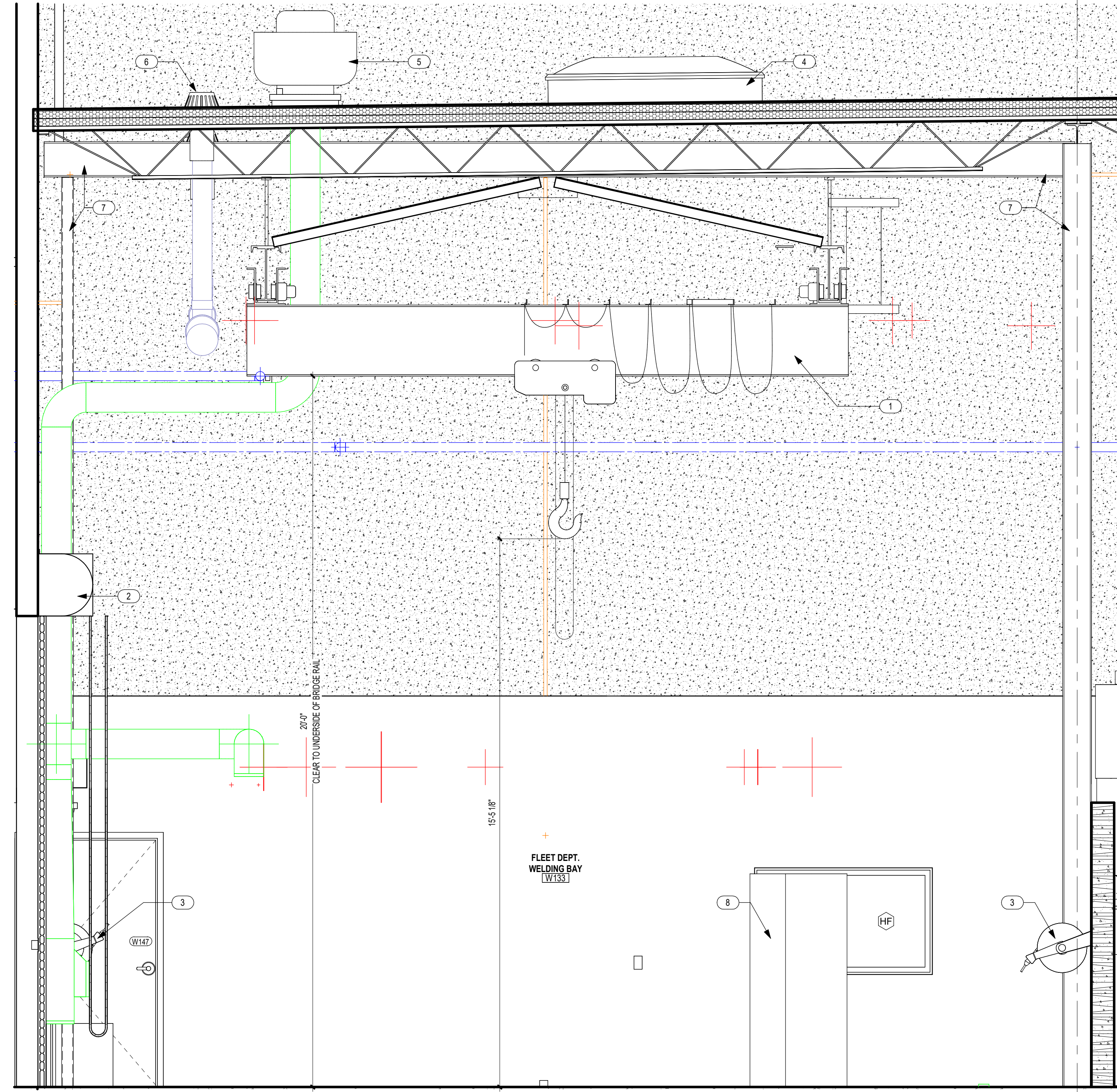


C1 SECTION/ELEV @ WASH BAY  
1/4" = 1'-0"

MARK	DESCRIPTION
1	CRATES
2	EXISTING OVERHEAD COILING DOOR TO REMAIN
3	COMPRESSED AIR REEL BY OWNER
4	EXISTING SKYLIGHT TO REMAIN
5	NEW EXHAUST FAN - SEE MECHANICAL DRAWINGS
6	EXISTING ROOF DRAIN TO REMAIN
7	NEW STEEL BRIDGE CRANE SUPPORT STRUCTURE - SEE STRUCTURAL DRAWINGS
8	FLUID DISPENSING SYSTEM BY OWNER



A1 FLEET MEZZANINE BLDG SECTION1  
1/2" = 1'-0"



C4 SECTION AT BRIDGE CRANE  
1/2" = 1'-0"

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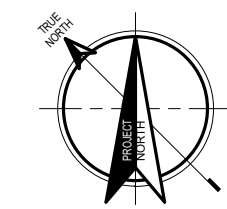
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1	4/10/2026	ADDENDUM 1

Project No.  
24059  
Sheet No.  
A301  
Date  
04/10/2026

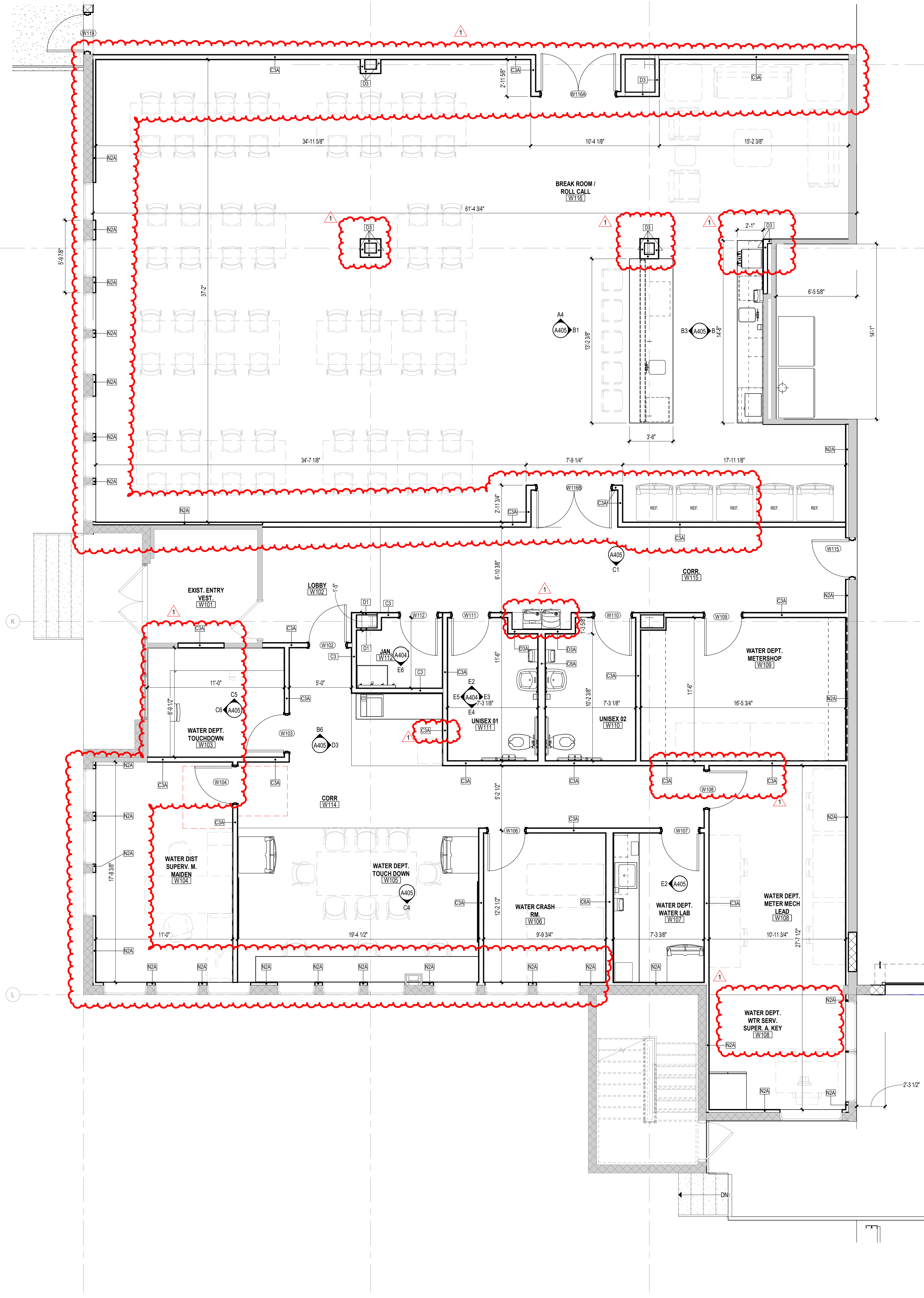
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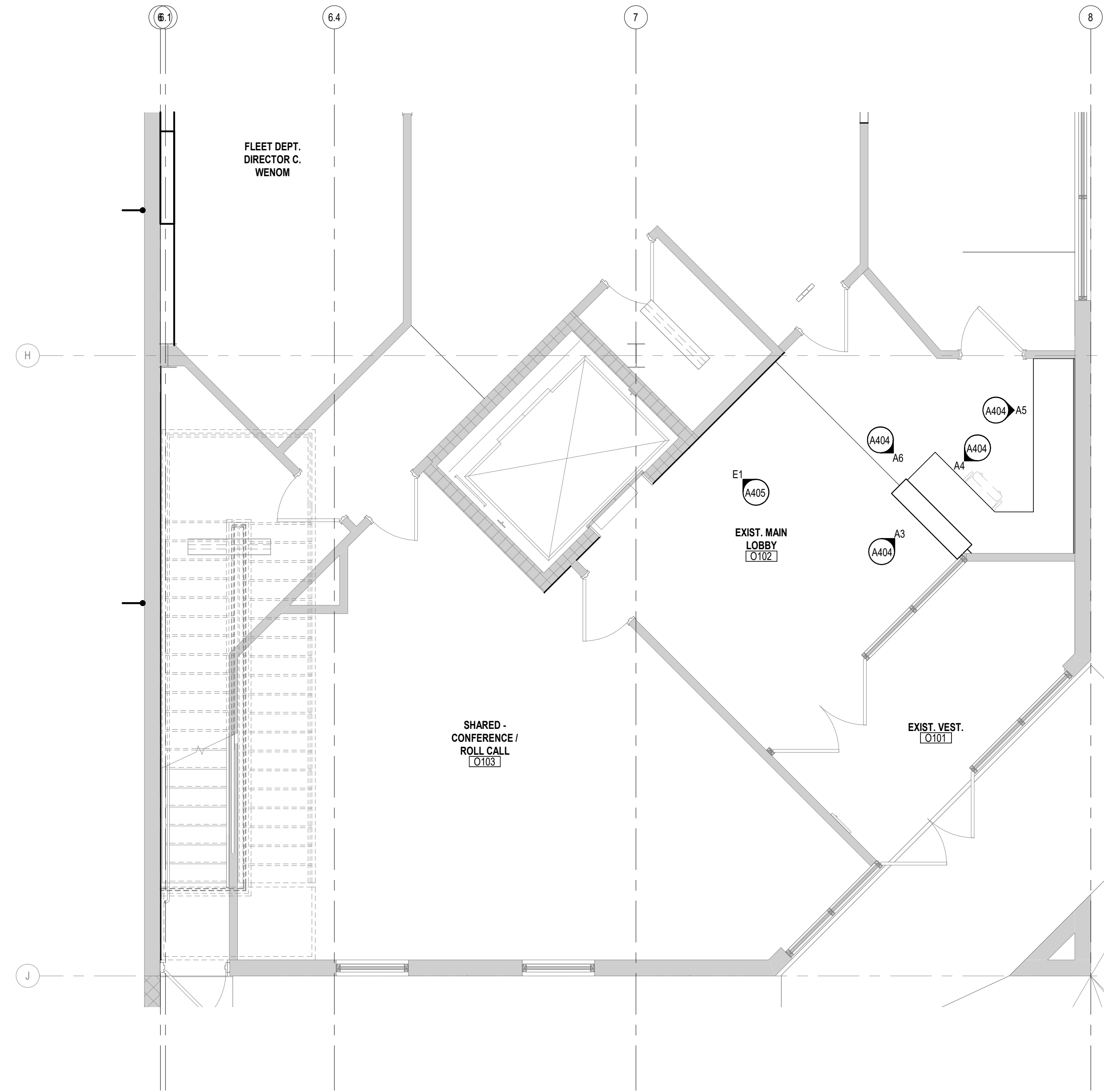
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**A1 ENLARGED WAREHOUSE FLOOR PLAN**  
1/4" = 1'-0"



**A5 ENLARGED WAREHOUSE FLOOR PLAN**  
1/4" = 1'-0"



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RENOVATION**  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	4/10/2026	ADDENDUM 1

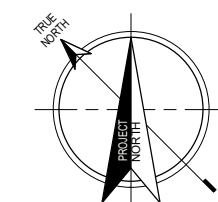
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**24059**  
Sheet No.  
**A401**  
Date  
**04/10/2026**

**ENLARGED FLOOR PLANS**



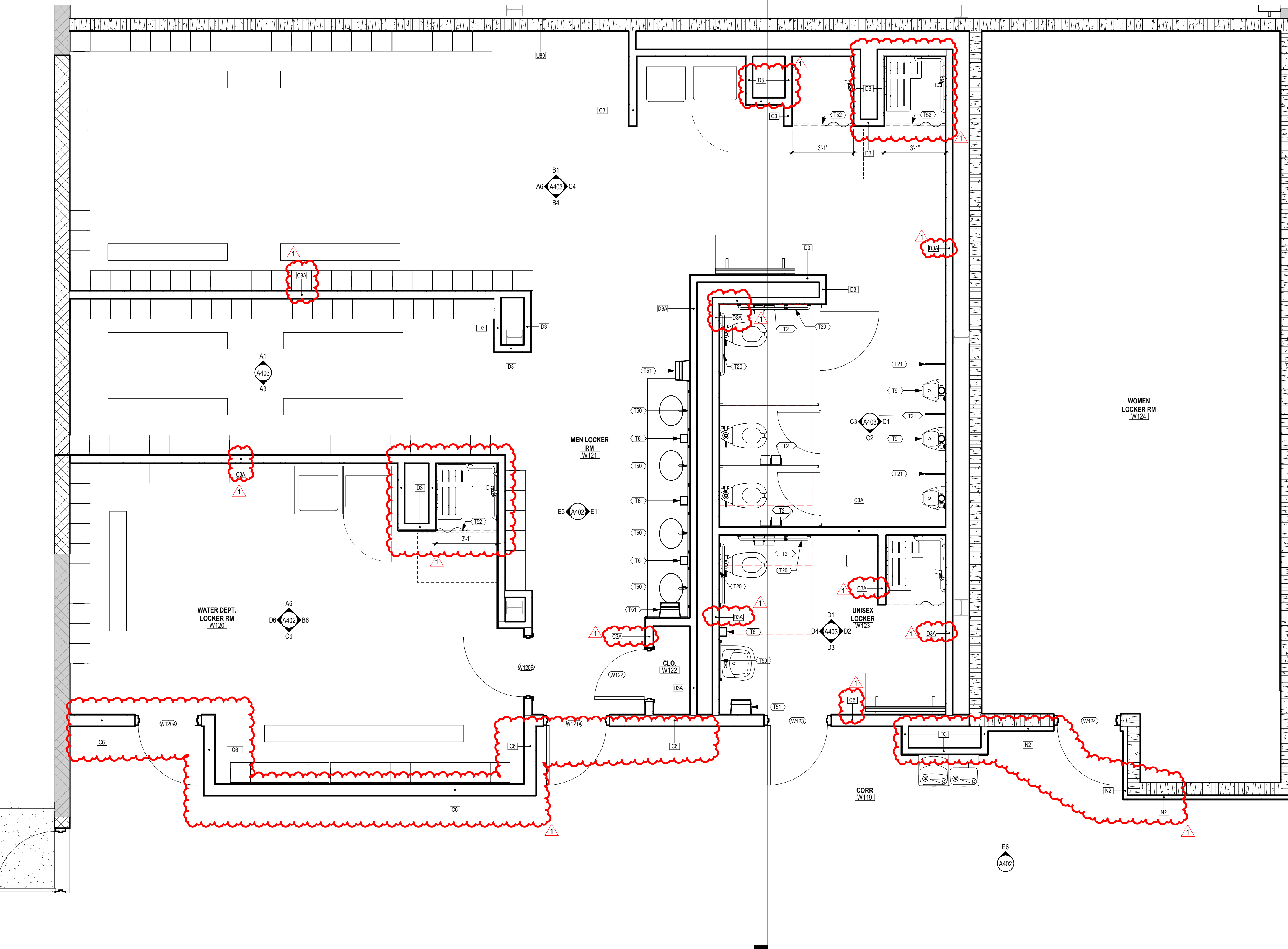
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# A1 ENLARGED\_WAREHOUSE\_L01\_LOCKER ROOM

3/8" = 1'-0"



## E1 MEN LOCKER RM/W121 E

3/8" = 1'-0"

## E3 MEN LOCKER RM/W121 W

3/8" = 1'-0"

## E6 CORR/W119

3/8" = 1'-0"

## D6 LOCKER RM/W120 W

3/8" = 1'-0"

## C6 LOCKER RM/ W120 S

3/8" = 1'-0"

## B6 LOCKER RM/W120 E

3/8" = 1'-0"

## A6 LOCKER RM/W120 N

3/8" = 1'-0"

### TOILET ACCESSORY SCHEDULE

TYPE MARK	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	FINISH	REMARKS
T6	SOAP DISPENSER				
T9	URINAL				
T11	REVERSE-SIDE FOLDING SHOWER SEAT	BOBRICK	B-5181		WHITE PHENOLIC
T12	MOP BROOM HOLDER	BOBRICK	B-223		
T20	1 1/2" DIAMETER STAINLESS STEEL GRAB BARS WITH FLANGE	BOBRICK	B-6806	SS	STAINLESS
T21	RESTROOM TOILET PARTITIONS, URINAL SCREENS	BRADLEY	PHENOLIC		
T50	MIRROR W/ S.S. CHANNEL FRAME	BOBRICK	B165 2426		STAINLESS
T51	SURFACE-MOUNTED ROLL PAPER TOWEL DISPENSER	GLOBAL	WB641289		
T52	VINYL SHOWER CURTAIN	BOBRICK	B-204-2		

### KEYED NOTES INT. ELEV.

MARK	DESCRIPTION
10	BASE AS SCHEDULED, SEE FINISH SCHEDULE
12	SOLID SURFACE SHOWER SURROUNDS, SOLID SURFACE ON WING WALLS. PROVIDE BEAD OF CLEAR SEALANT TOP OF PANELS TO CEILING
13	TILE WAINSCOT HEIGHT AS INDICATED, PAINTED WALL ABOVE. SEE FINISH SCHEDULE
14	CUSTOM BUILT IN RESTROOM, VANITY WITH SOLID SURFACE TOPS, INTEGRAL SOLID SURFACE SINK, PLASTIC LAMINATE ANGLED REMOVABLE ADA PANELS. SEE FINISH SCHEDULE
15	NEW METAL LOCKERS, SEE FLOOR FINISH PLAN
16	PROVIDE & INSTALL ADA BENCH W/BACK, PAINTED STEEL PEDESTALS, BOLT TO FLOOR
17	NEW LOCKER ROOM BENCHES, SEE FINISH SCHEDULE
18	FULL HEIGHT CERAMIC TILE BACKSLASH BEHIND DRINKING FOUNTAIN, SEE FINISH SCHEDULE
22	OWNER FINISHED AND INSTALLED EQUIPMENT. COORDINATE ALL CONNECTION REQUIREMENTS FOR OWNER PROVIDED ITEM.

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**RENOVATION**  
545 LEFFINGWELL AVE.

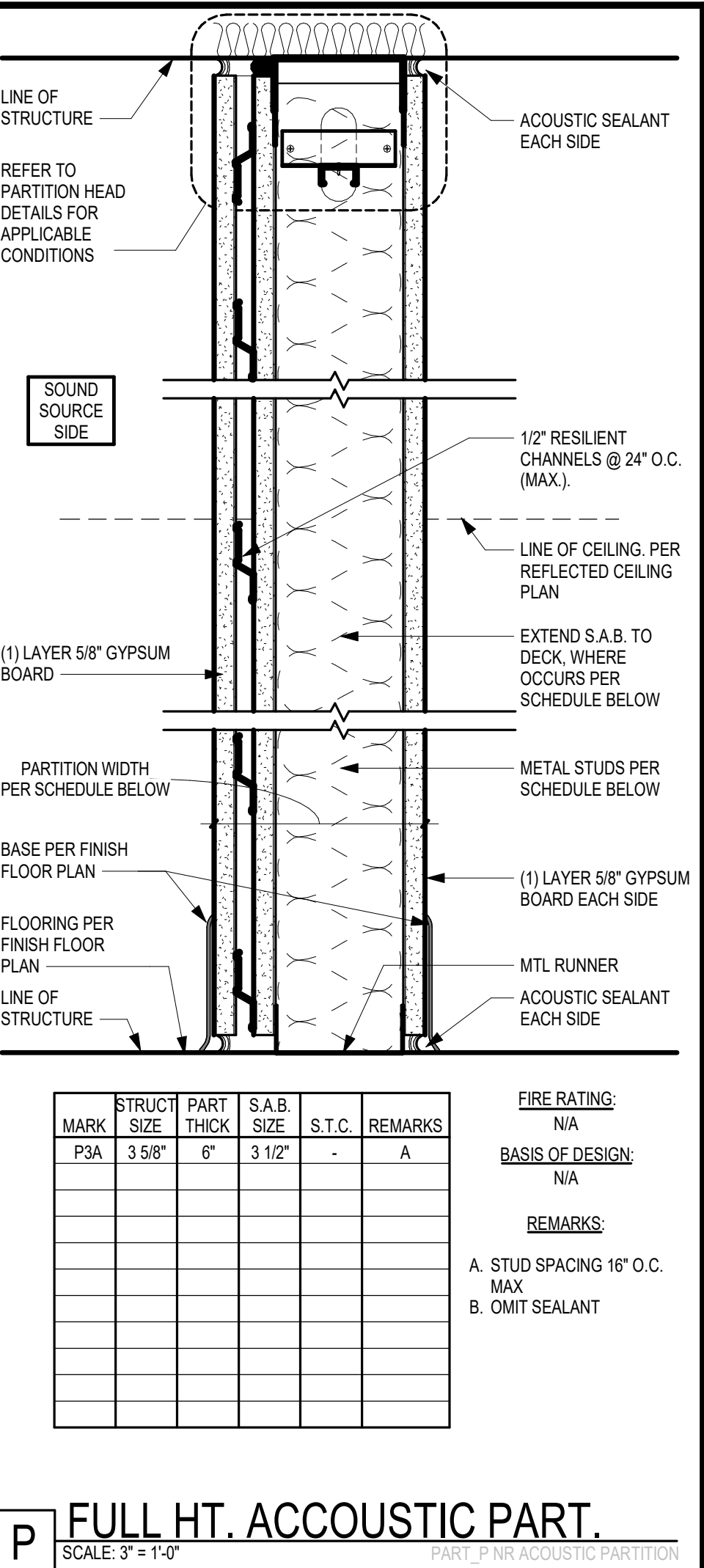
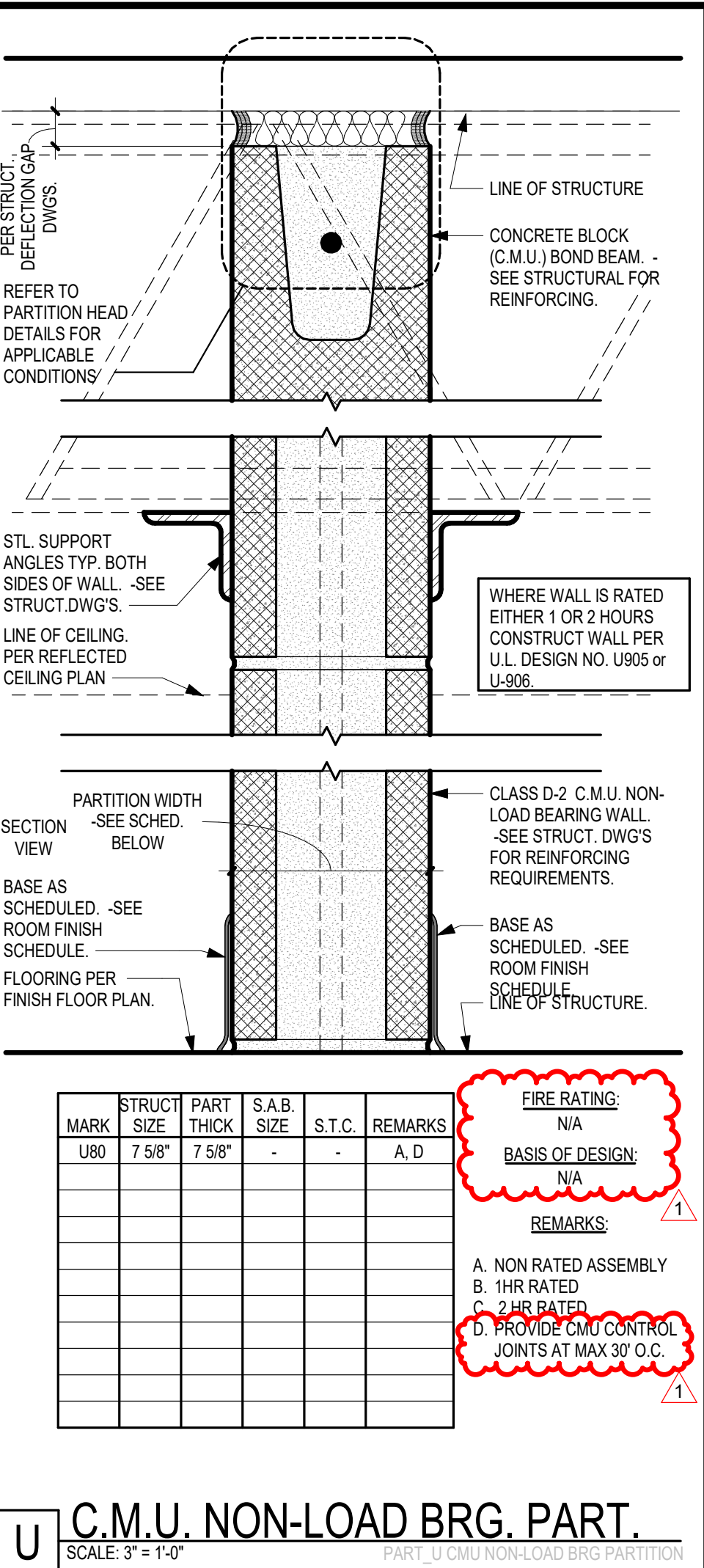
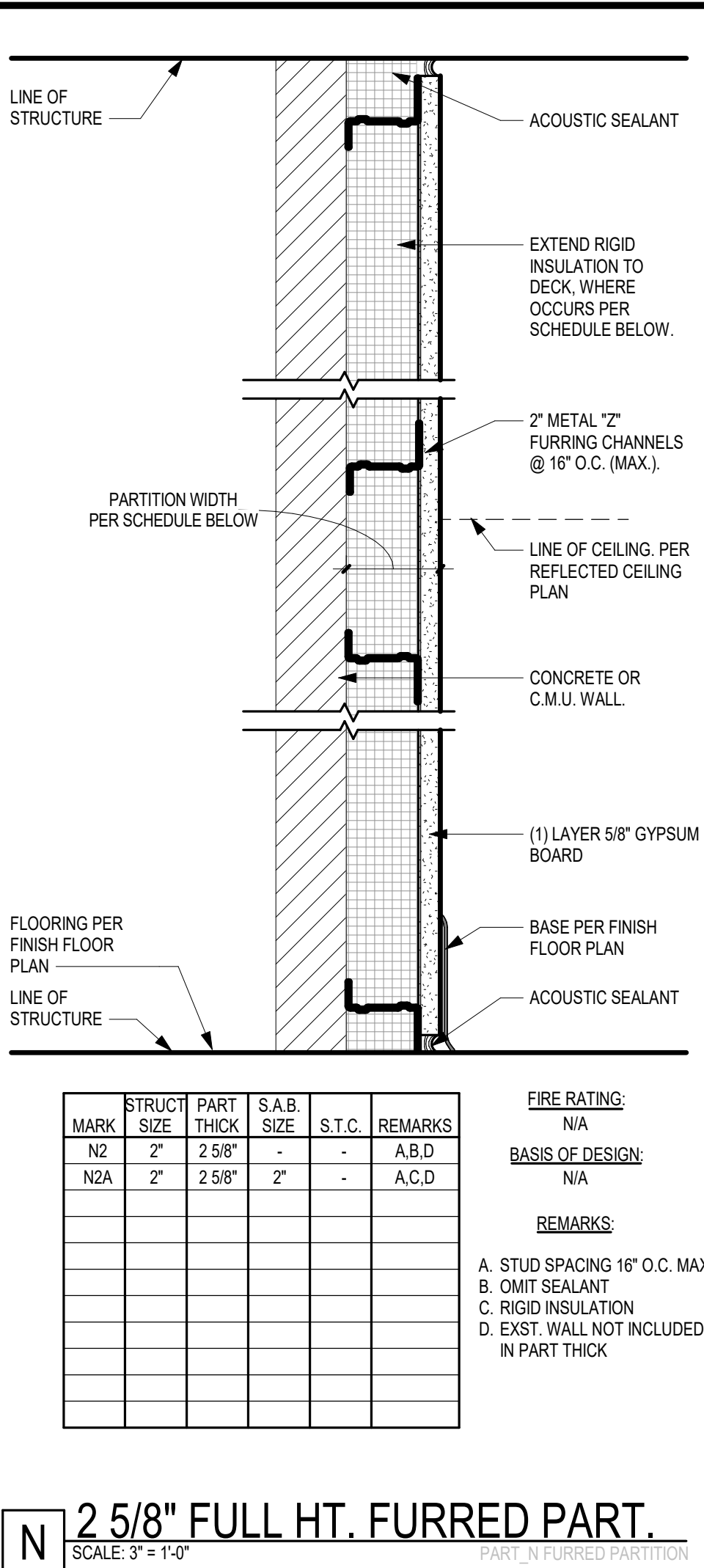
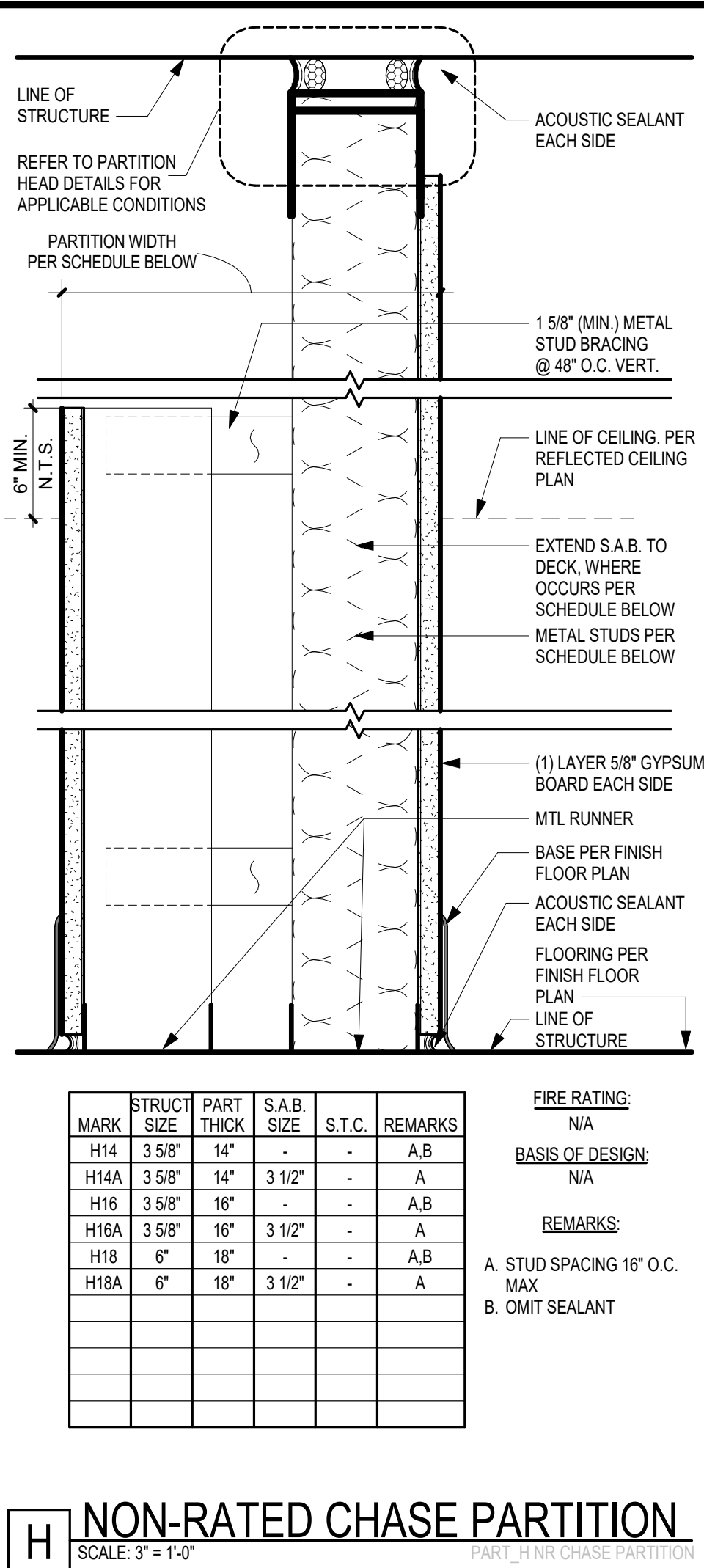
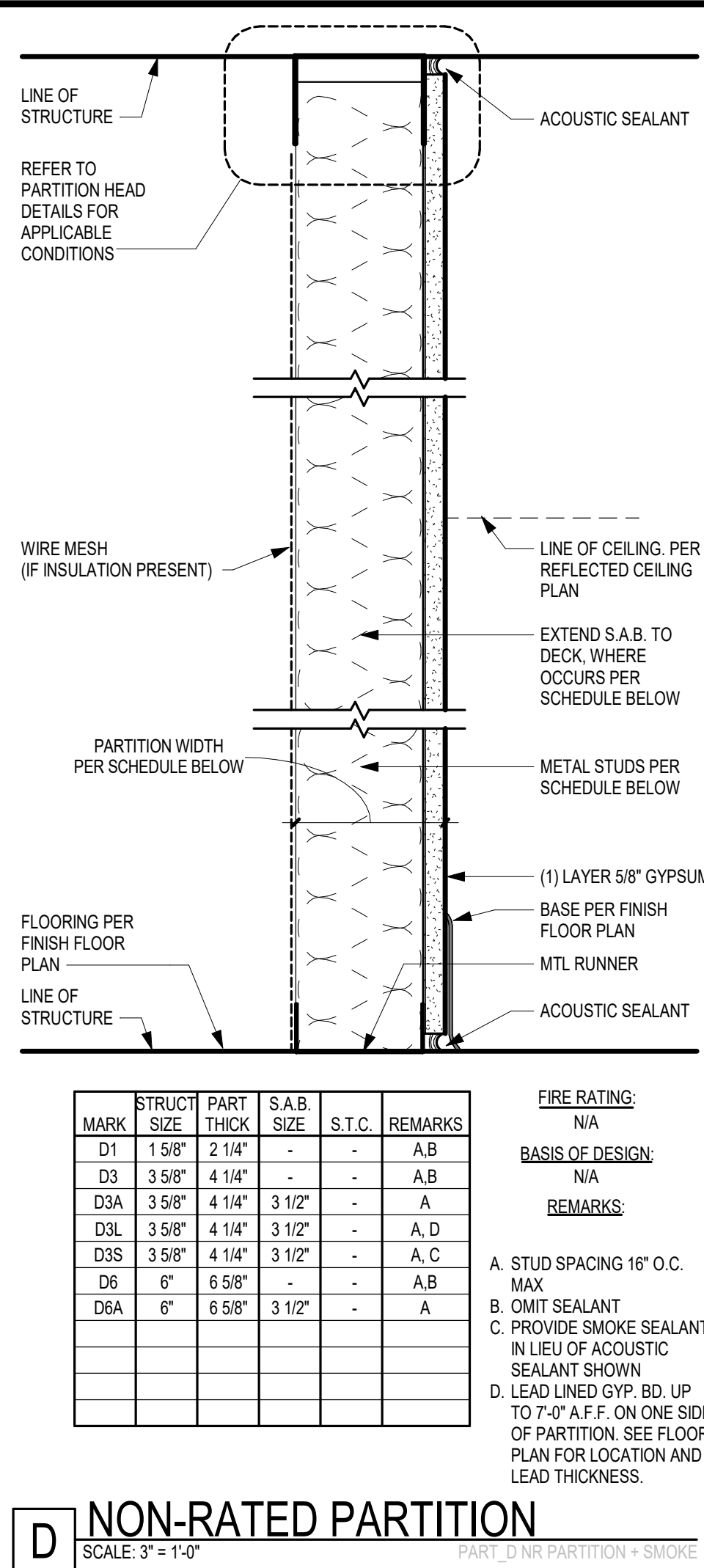
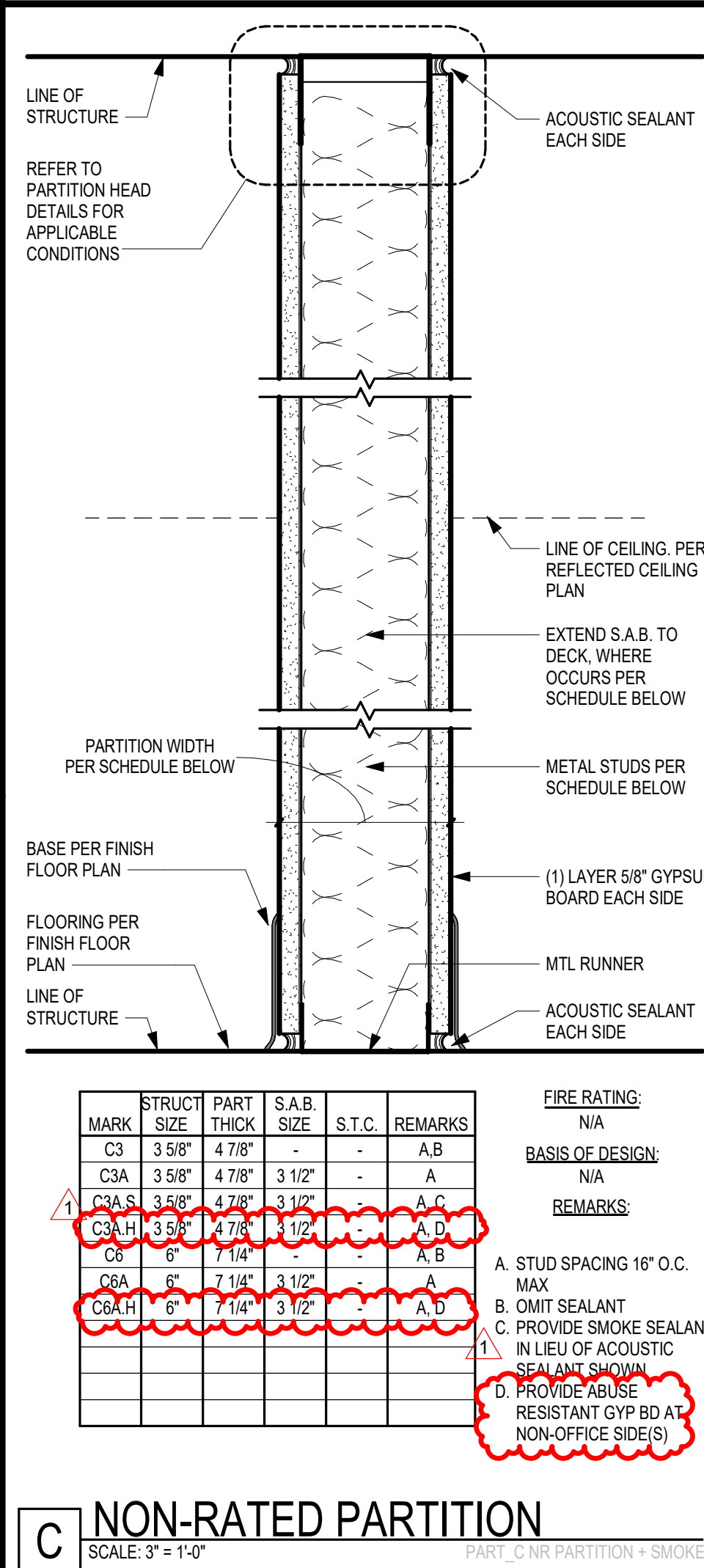
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1	4/10/2026	ADDENDUM 1

Project No.  
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**A402**  
Date  
**04/10/2026**

**ENLARGED LOCKER RMS/ELEVATIONS**



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**RENOVATION**  
545 LEFFINGWELL AVE.

No. 1  
Date: 4/10/2026  
Revision: ADDENDUM 11

Project No.  
**24059**  
Sheet No.  
**A500**  
Date  
**04/10/2026**

**PARTITION TYPES**

545 LEFFINGWELL AVE.

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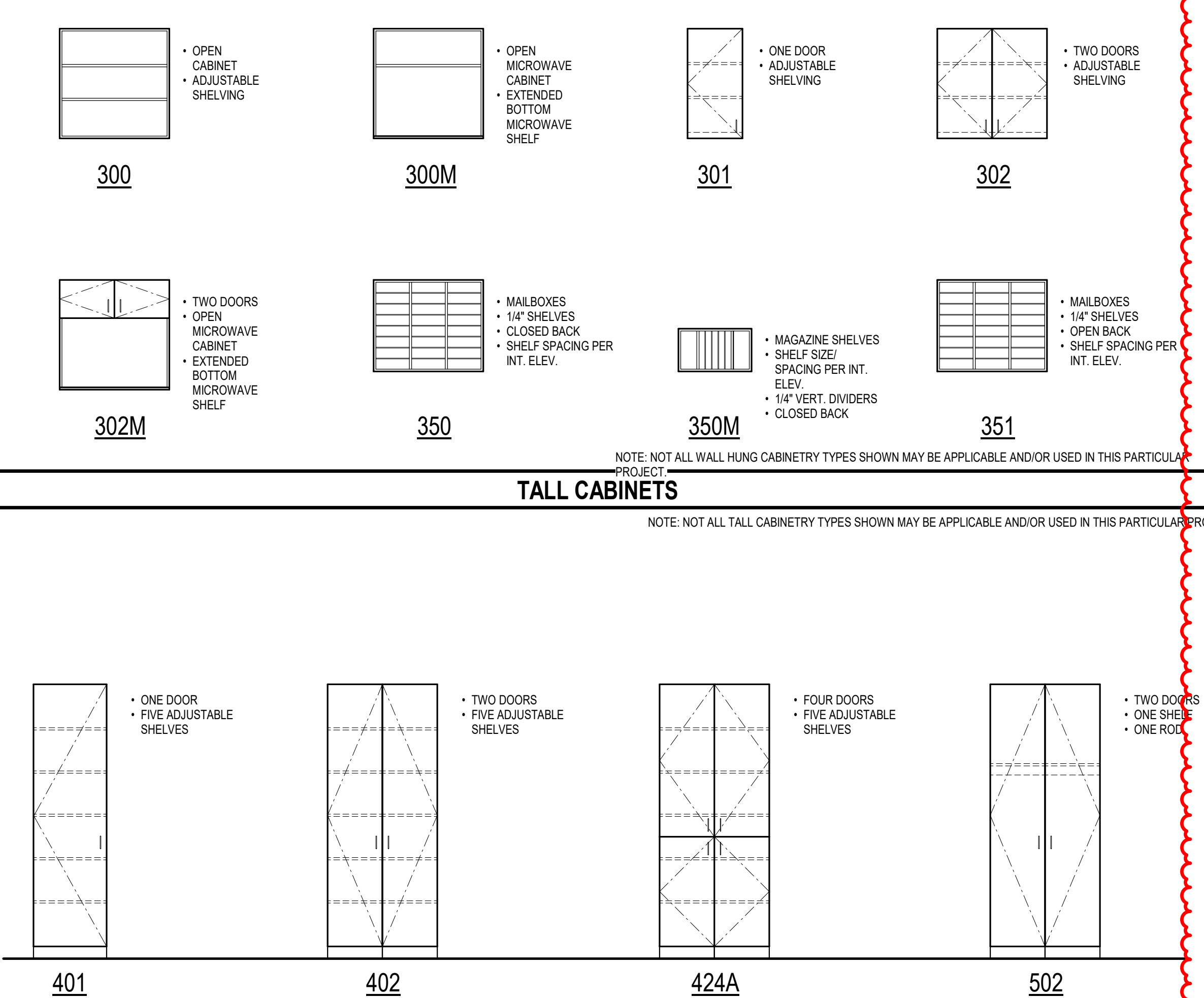
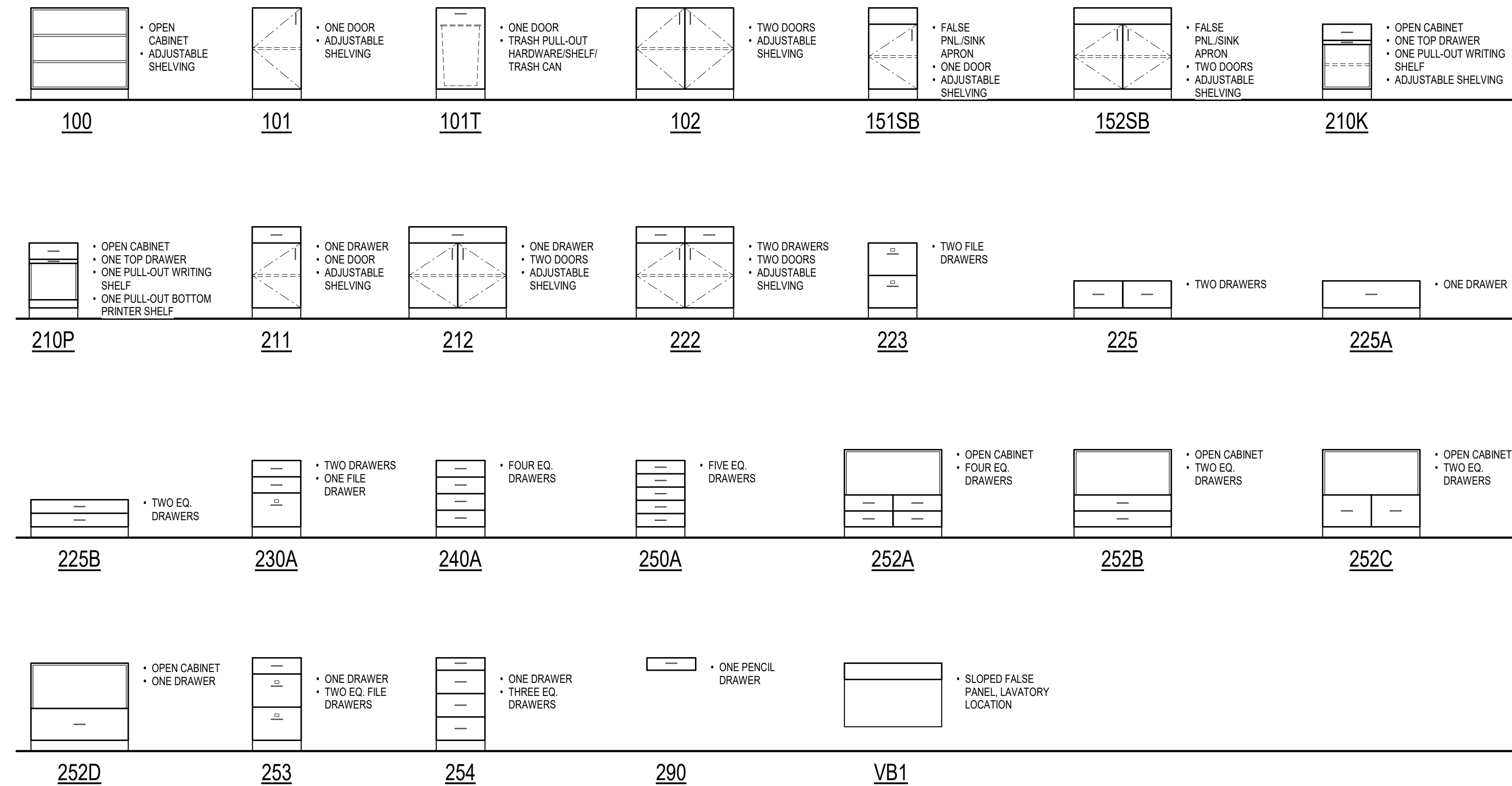


# TYPICAL CABINETRY TYPES ELEVATIONS

CABINETRY TYPES ELEVATIONS 30X42 1/8X26

## CASEWORK GENERAL NOTES

NOTE: NOT ALL BASE CABINETRY TYPES SHOWN MAY BE APPLICABLE AND/OR USED IN THIS PARTICULAR PROJECT.



NOTE: NOT ALL WALL HUNG CABINETRY TYPES SHOWN MAY BE APPLICABLE AND/OR USED IN THIS PARTICULAR PROJECT.

NOTE: NOT ALL TALL CABINETRY TYPES SHOWN MAY BE APPLICABLE AND/OR USED IN THIS PARTICULAR PROJECT.

- CONTRACTOR TO SUBMIT CASEWORK SHOP DRAWINGS TO DESIGNER FOR APPROVAL PRIOR TO FABRICATION AND ORDERING OF MATERIALS.
- ALL CASEWORK TO BE CONSTRUCTED PER ARCHITECTURAL WOODWORKING INSTITUTE (AWI) QUALITY STANDARDS, 8TH EDITION, VERSION 1.0, 2003 CUSTOM GRADE, UNLESS NOTED OTHERWISE.
- ALL COUNTERTOPS TO HAVE A 4" H. BACKSPLASH AND ENDSPLASHES UNLESS INDICATED OTHERWISE. (REFERENCE INTERIOR ELEVATIONS). BACK AND ENDSPLASHES TO BE FULLY SEDGED (NON-YELLOWING) CLEAR SILICONE SEALANT TO FULLY SEAL ALL PERIMETER JOINTS. CAULK THE BACK AND ENDSPLASHES WITH CLEAR SEALANT ALONG THE ENTIRE TOP EDGE WHERE SPLASHES ADJOIN WALLS. ALL EXPOSED ENDS & RETURNS TO BE FINISHED.
- ALL LAMINATE AND VENEER SHALL BE APPLIED TO SUBSTRATE OF NOT LESS THAN 3/4" THICKNESS.
- ALL EXPOSED EXTERIOR SURFACES OF CASEWORK TO BE PLASTIC LAMINATE UNLESS NOTED OTHERWISE.
- AT ALL WET LOCATIONS, WHERE PLASTIC LAMINATE IS SPECIFIED, BOTH COUNTERTOP AND BACKSPLASH ARE TO BE MADE OF MOISTURE RESISTANT PARTICLE BOARD.
- INTERIOR OF ALL CASEWORK TO BE WHITE MELAMINE UNLESS NOTED OTHERWISE. EXCEPTION: CASEWORK WITH OPEN FRONTS TO HAVE PLASTIC LAMINATE INTERIOR U.N.O.
- CONTRACTOR TO PROVIDE, COORDINATE AND INSTALL ALL REQUIRED BLOCKING FOR CASEWORK. -SEE TYPICAL WALL BACKING DETAIL C1A003
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS FOR CASEWORK PRIOR TO FABRICATION.
- CONTRACTOR TO VERIFY ALL SEALANT COLORS WITH ARCHITECT PRIOR TO ORDERING AND INSTALLATION.
- CONTRACTOR SHALL DRILL 2 3/8" DIA. HOLES FOR HAFELE 429.93.XXX GROMMETS THRU COUNTERTOPS AT LOCATIONS AS DIRECTED BY THE OWNER/TECHNICAL PROVIDE GROMMET COVERS TO MATCH COUNTERTOP COLOR. PROVIDE COLOR SAMPLES OF COUNTERTOP FINISH AND COLORED GROMMET TO ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO ORDERING.
- CABINET DOOR PULLS TO BE 4" HIGH WIRE PULLS. FINISH TO BE BRUSHED CHROME OR APPROVED EQUAL, UNLESS NOTED OTHERWISE.
- ALL OUTSIDE CORNERS OF COUNTERTOPS ON PLANS NOT AGAINST AN ADJACENT WALL SHALL HAVE 3/4" RADIUS, UNLESS NOTED OTHERWISE. ALL EXPOSED ENDS & RETURNS TO BE FINISHED.
- ALL LAMINATE DOORS TO BE FINISHED ON ALL SIDES.
- ALL COUNTERTOP METAL ANGLE SUPPORT BRACKETS TO BE ASM HARDWARE, 18X24" W/ BLACK POWDER COATED FINISH (OR APPROVED EQUAL) UNLESS NOTED OTHERWISE.
- ALL UNDER CABINET LIGHTING SHALL BE CONTINUOUS LOW-PROFILE LED FIXTURES, EVENLY SPACED, COLOR WHITE U.N.O. FIXTURES CONCEALED FROM FRONT AND FINISHED ENDS. FACE OF FRONT LIGHTRAIL SHALL ALIGN FLUSH WITH FRONT FACE OF CABINET BODY. BOTTOM EDGE OF CABINET FINISHED END PANELS SHALL ALIGN WITH BOTTOM EDGE OF LIGHT RAIL. ALL UNDERCOUNTER LIGHTS SHALL BE DIRECT WIRED AND SWITCHED (SEE INT. ELEV. & ELEC. DWGS.) SEE TYPICAL WALL CABINET DETAIL AS NOTED. NO OFFSET LIGHTRAILS ON FRONT OR ENDS OF CABINETS SHALL BE PERMITTED.
- ALL OUTSIDE CORNERS OF CABINETS, APRONS, LIGHT RAILS, SINK ENCLOSURE PANELS, ETC. SHALL BE ALIGNED TO FORM A 90 DEGREE ANGLE UNLESS NOTED OTHERWISE. NO OFFSET OR STAGGERED CORNERS SHALL BE PERMITTED.
- THE MAXIMUM PERMITTED GAP BETWEEN ADJACENT DOOR & DRAWER FRONTS FOR FLUSH-OVERLAY CABINETS SHALL NOT EXCEED 1/8".
- ALL FILE DRAWERS SHALL BE SUPPLIED WITH BUILT-IN ADJUSTABLE HANGING FILE FRAME SYSTEM. INCLUDE (1) REMOVABLE INTERMEDIATE RAIL PER DRAWER FOR CONVERTING FROM LETTER TO LATERAL FILES.
- ALL FINISHED SIDES OF BASE CABINETS SHALL HAVE VINYL BASE APPLIED TO THEM UNLESS NOTED OTHERWISE.
- FRONT FACE OF ALL PLASTIC LAMINATE PENCIL DRAWER FRONTS SHALL ALIGN WITH FRONT FACE OF ANY ADJACENT PLASTIC LAMINATE APRON.
- ALL PLASTIC LAMINATE DOOR AND DRAWERS TO RECEIVE 1MM PVC EDGE BAND AND ALL COUNTERTOPS TO RECEIVE 3MM EDGE BAND OR T-MOLD EDGE BAND. REFER TO FINISH SCHEDULE FOR EDGE BAND COLORS.

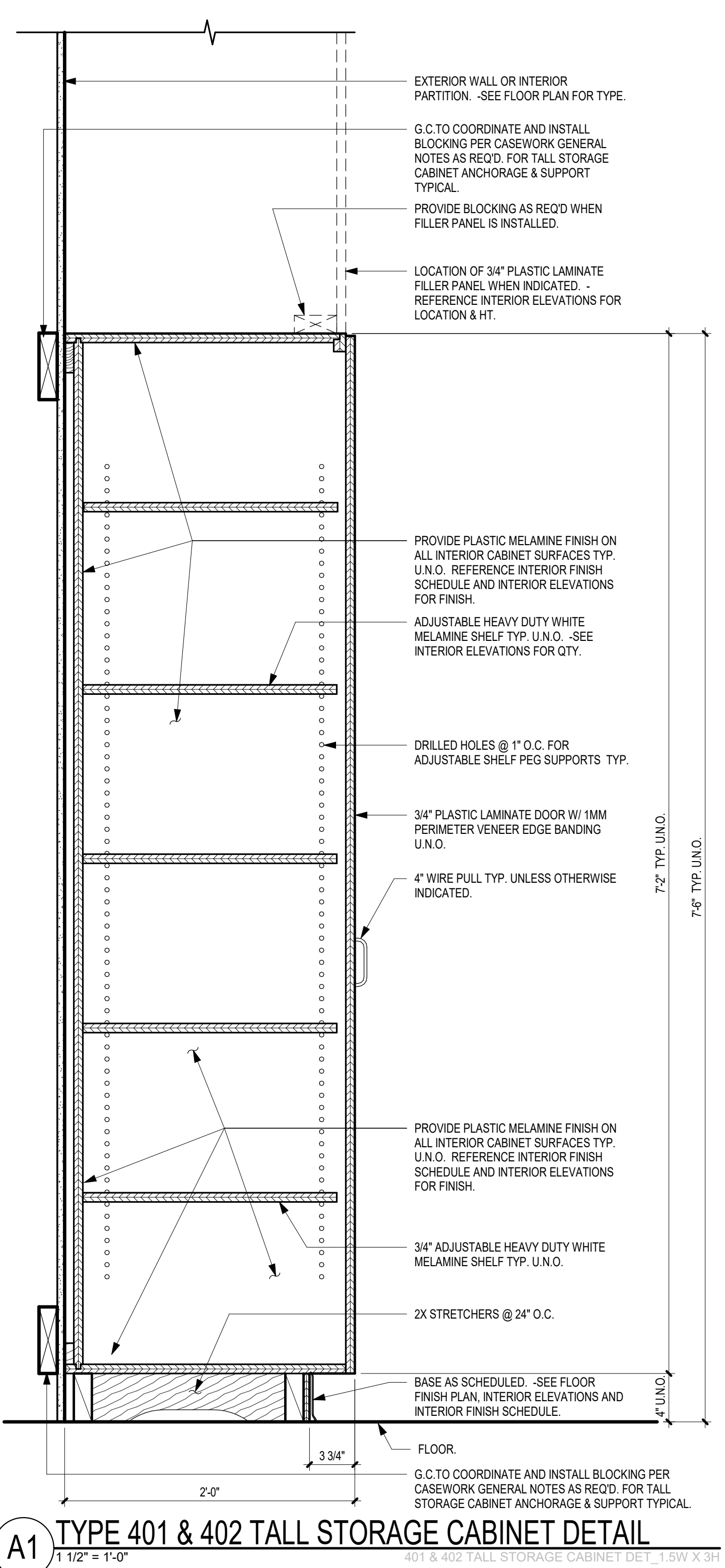
Roy A. Marston

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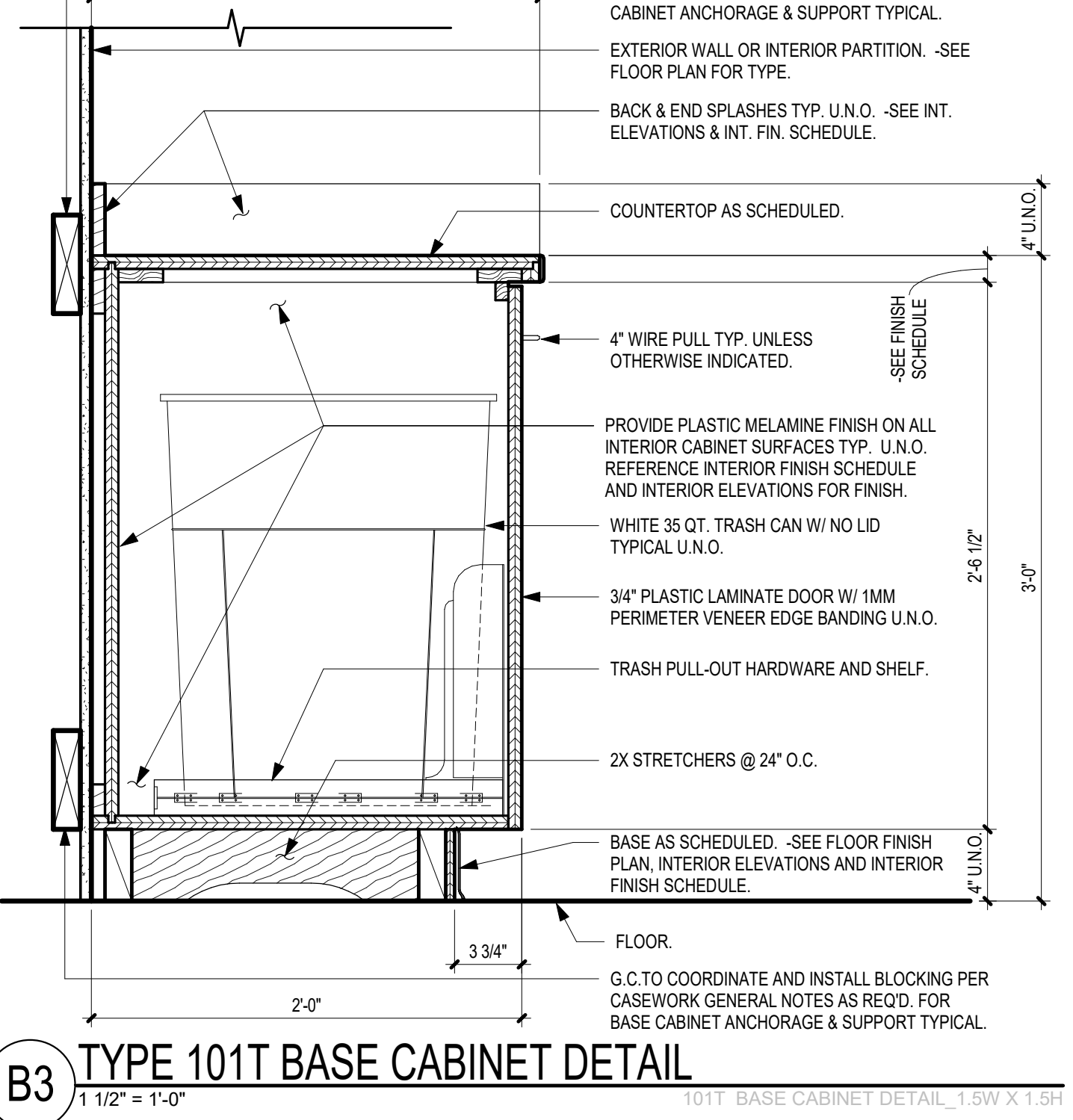
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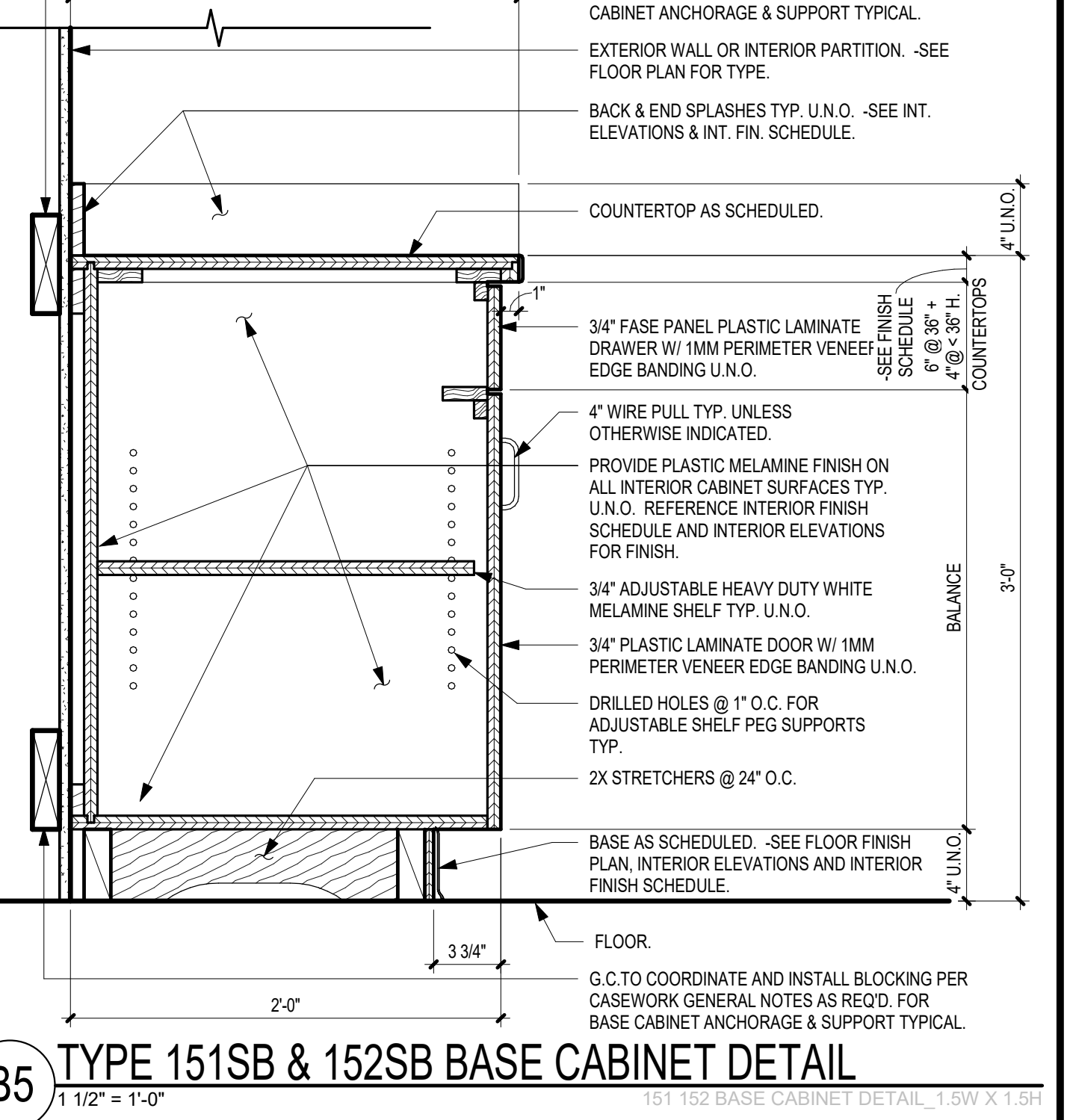
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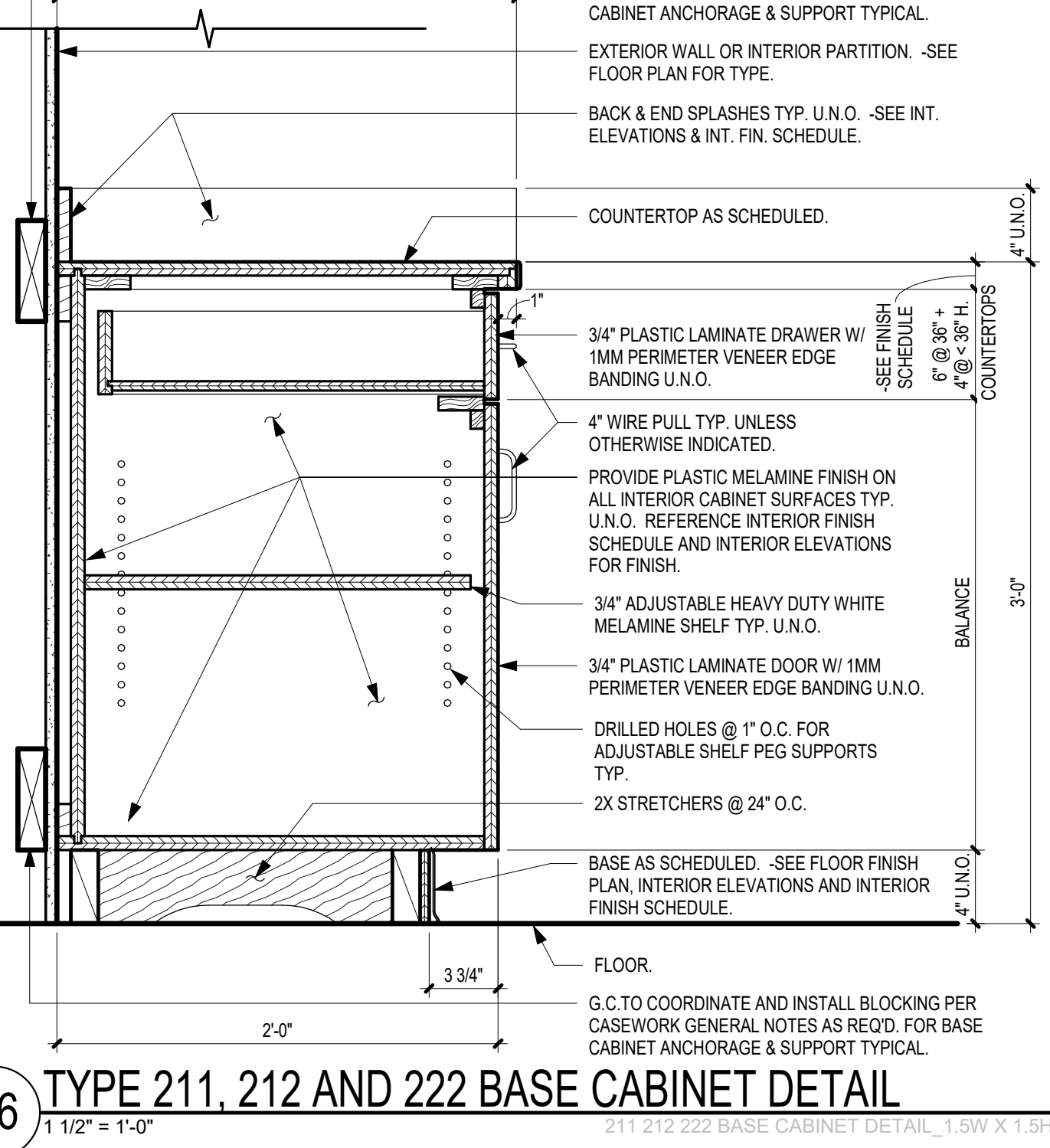
**B2** TYPICAL SECTION THRU BASE & WALL CABINET  
1 1/2" = 1'-0"



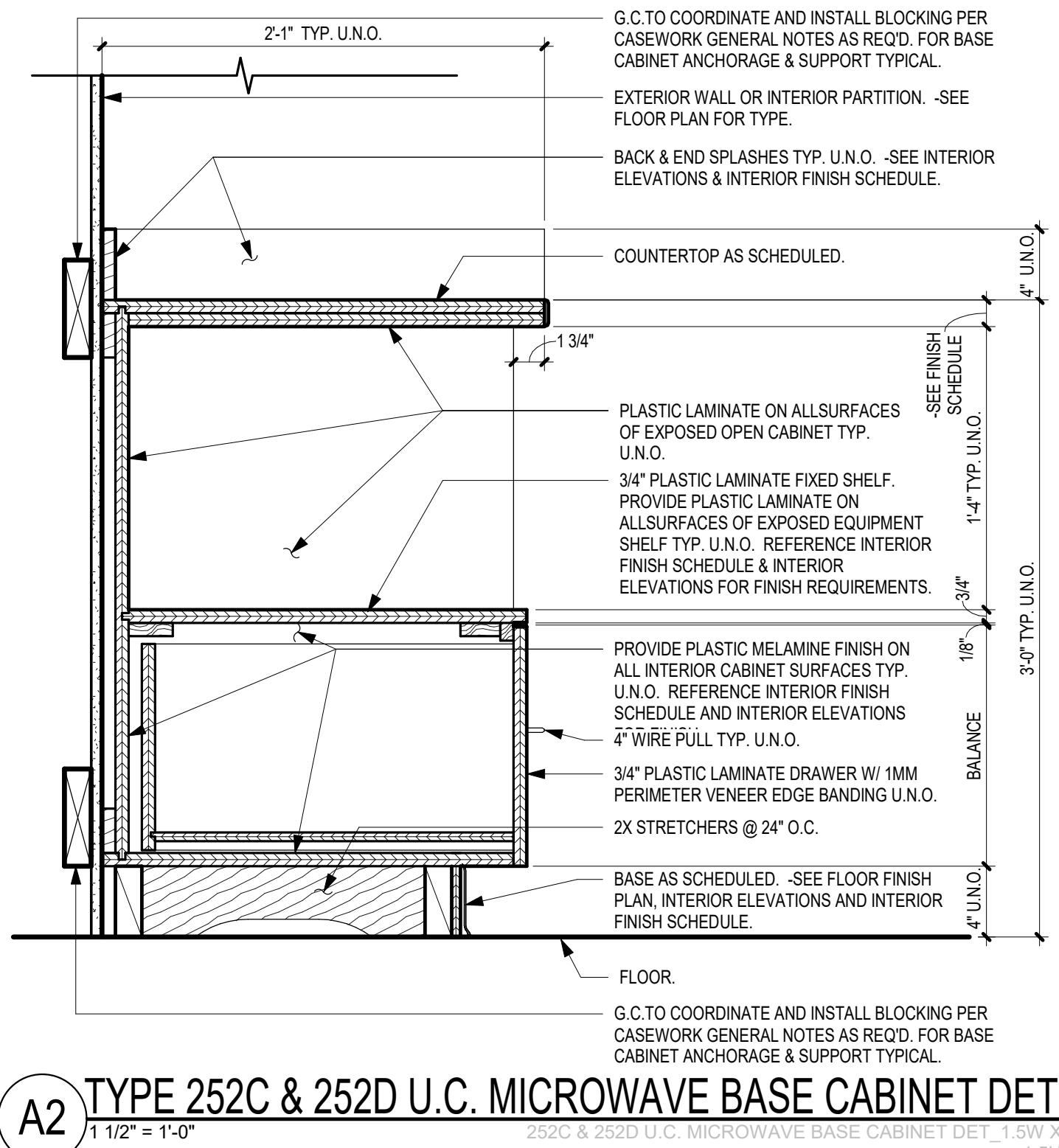
**B3** TYPE 101T BASE CABINET DETAIL  
1 1/2" = 1'-0"



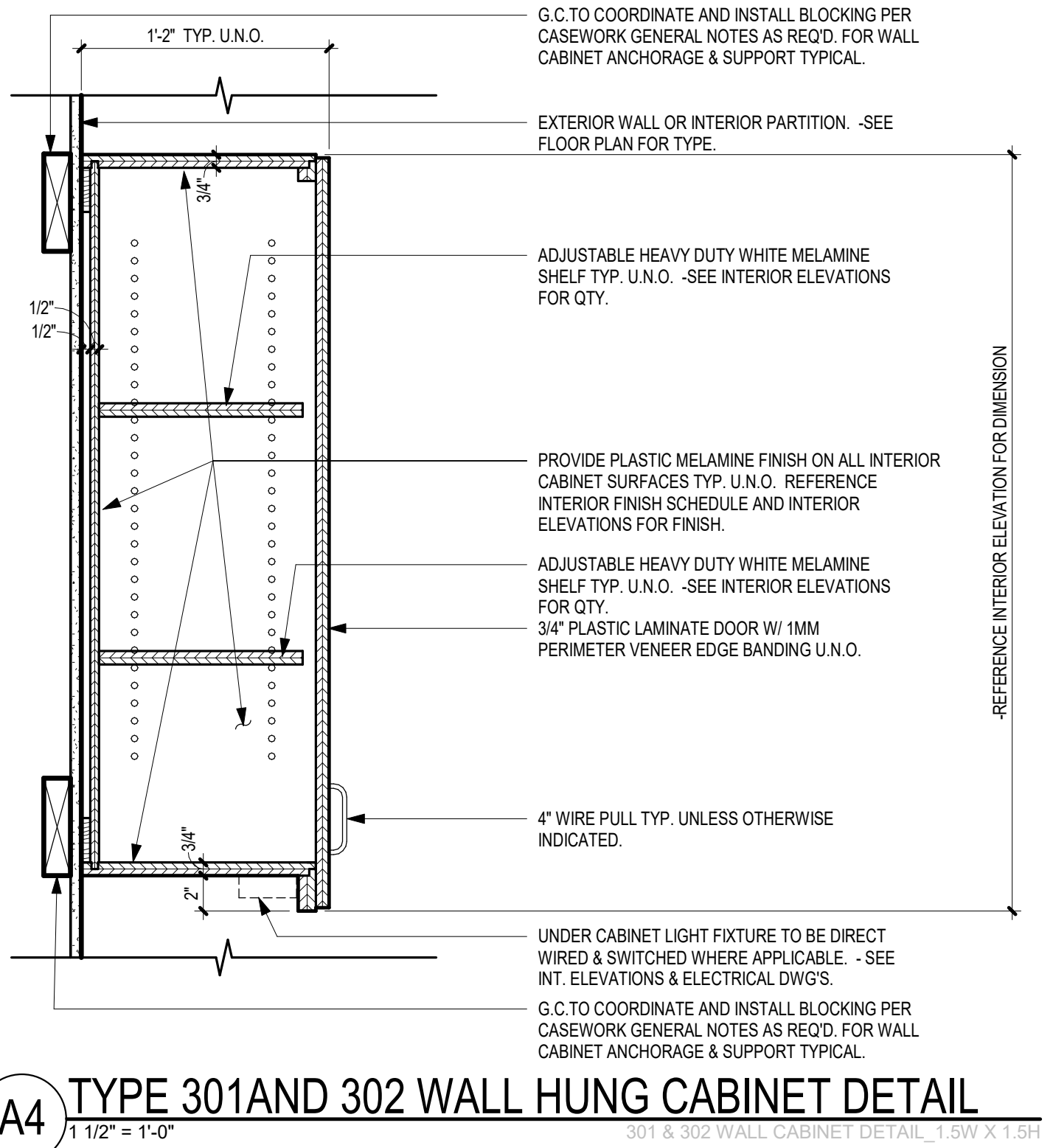
**B5** TYPE 151SB & 152SB BASE CABINET DETAIL  
1 1/2" = 1'-0"



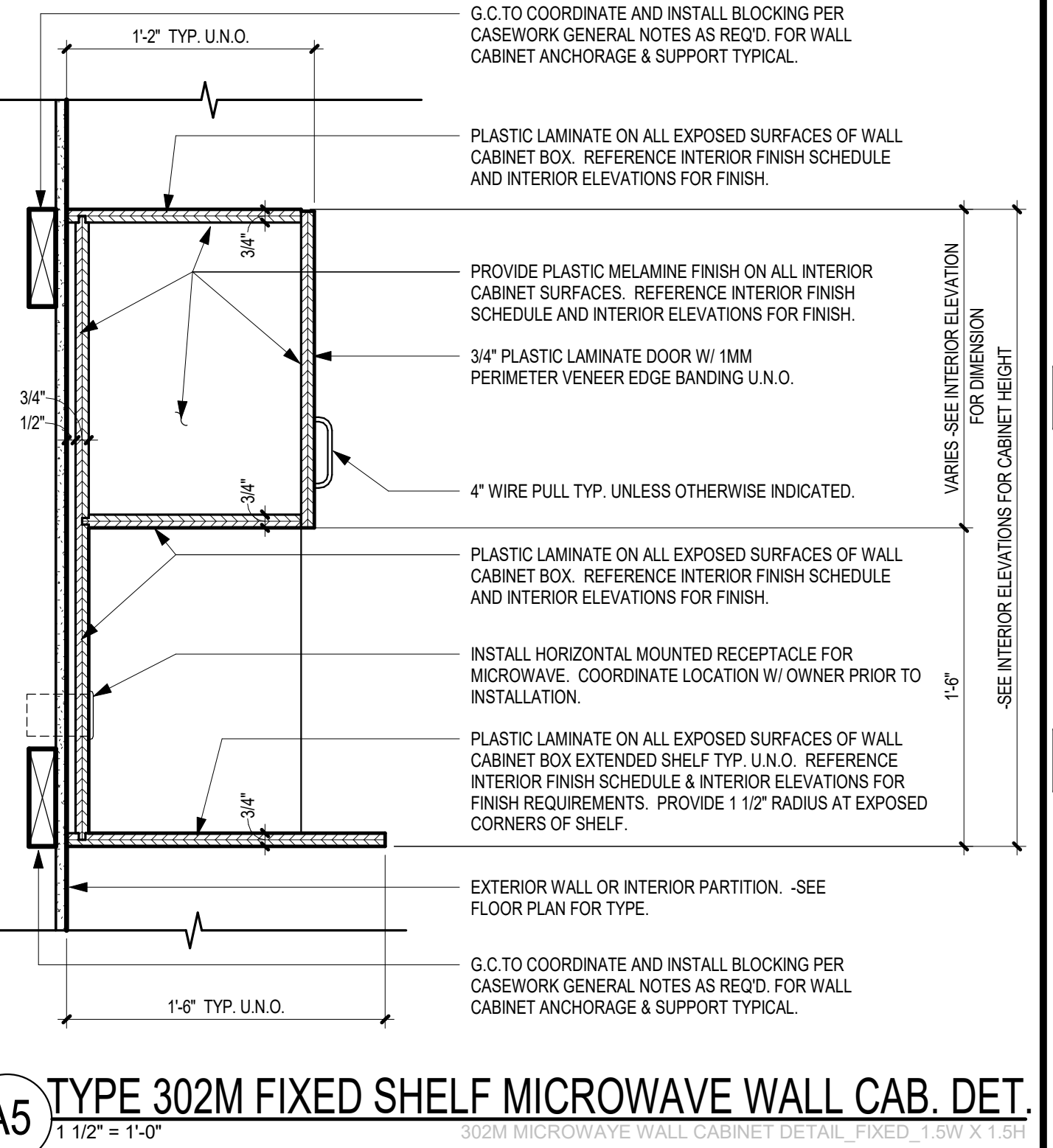
**B6** TYPE 211, 212 AND 222 BASE CABINET DETAIL  
1 1/2" = 1'-0"



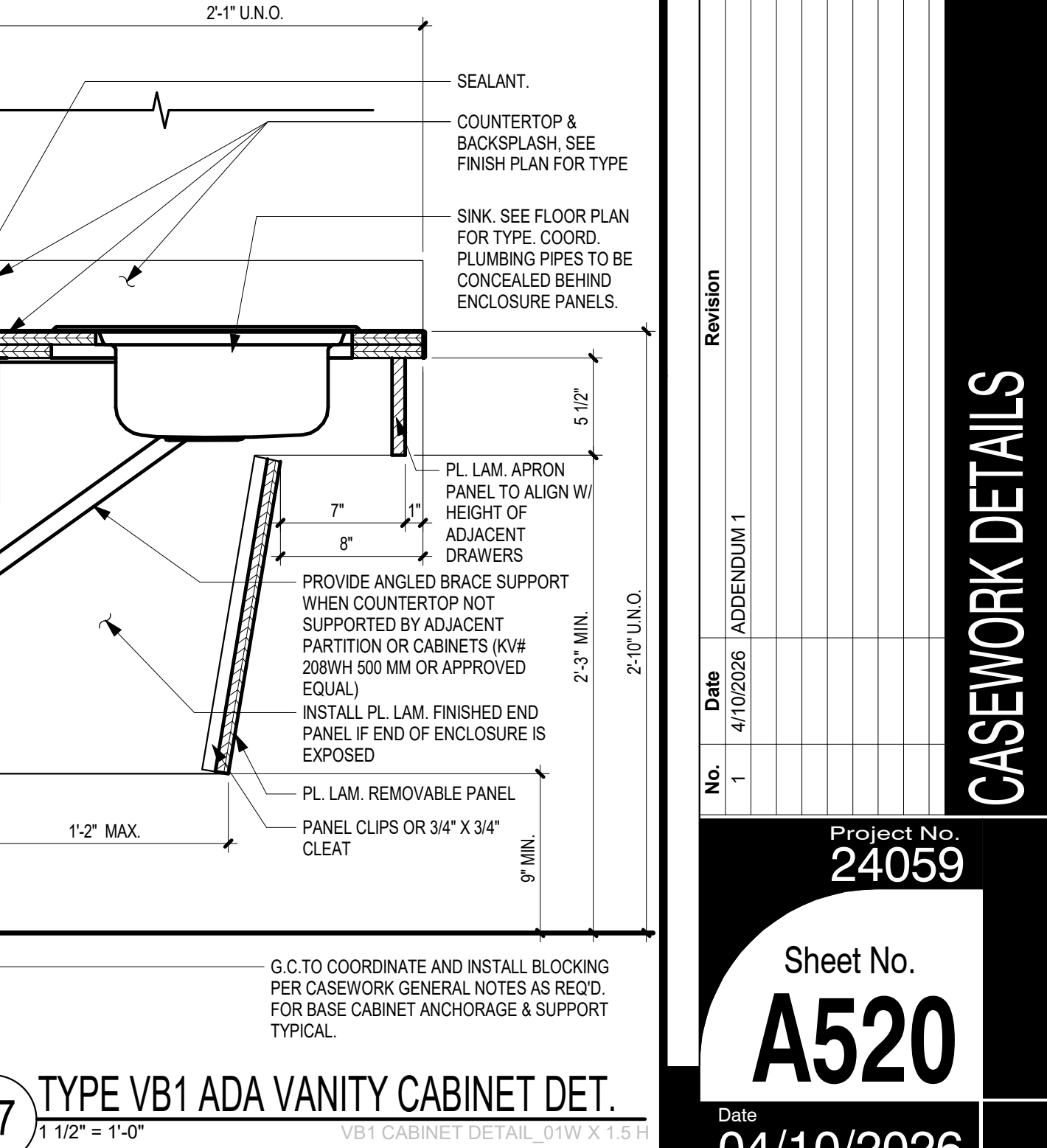
**A2** TYPE 252C & 252D U.C. MICROWAVE BASE CABINET DET.  
1 1/2" = 1'-0"



**A4** TYPE 301 AND 302 WALL HUNG CABINET DETAIL  
1 1/2" = 1'-0"

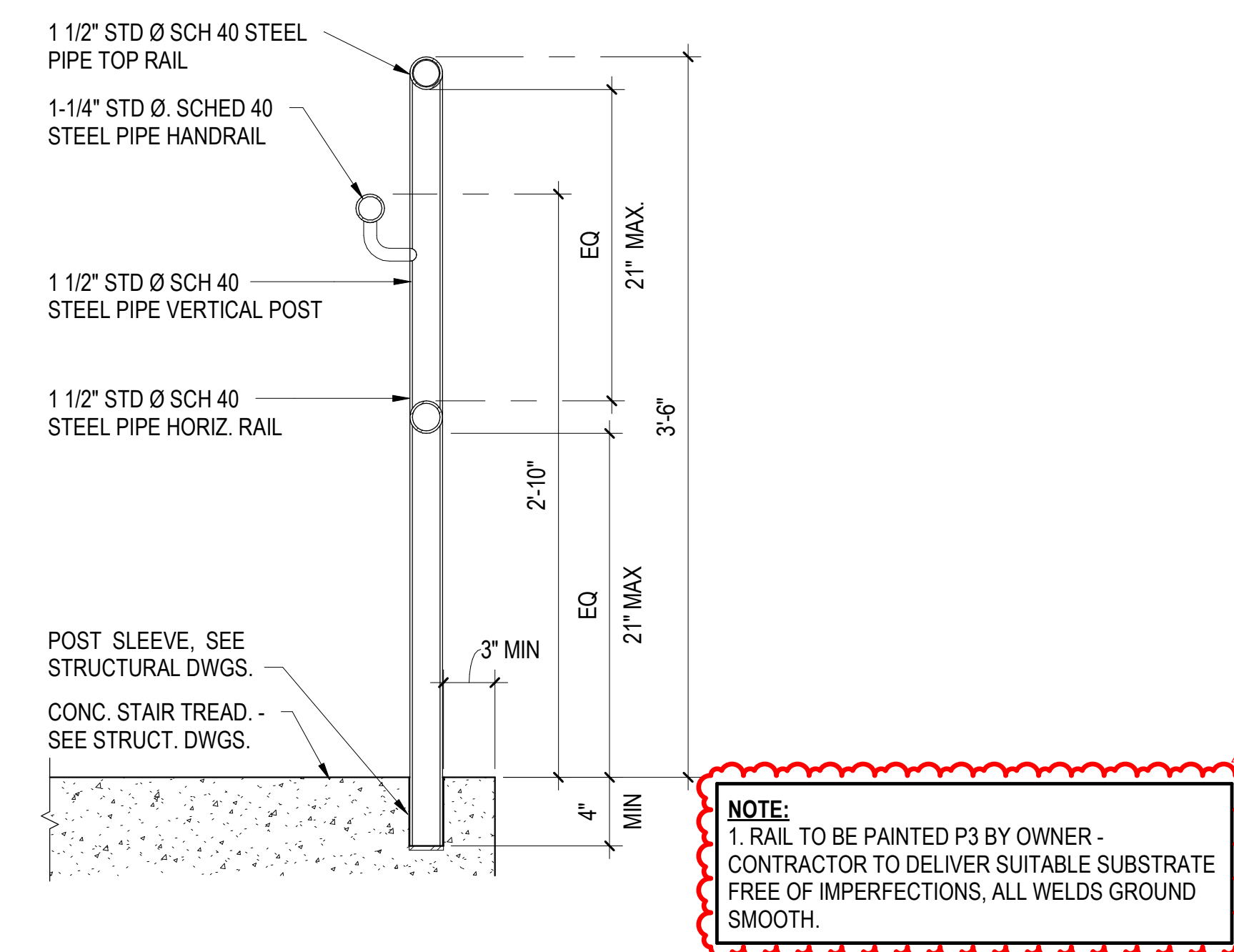
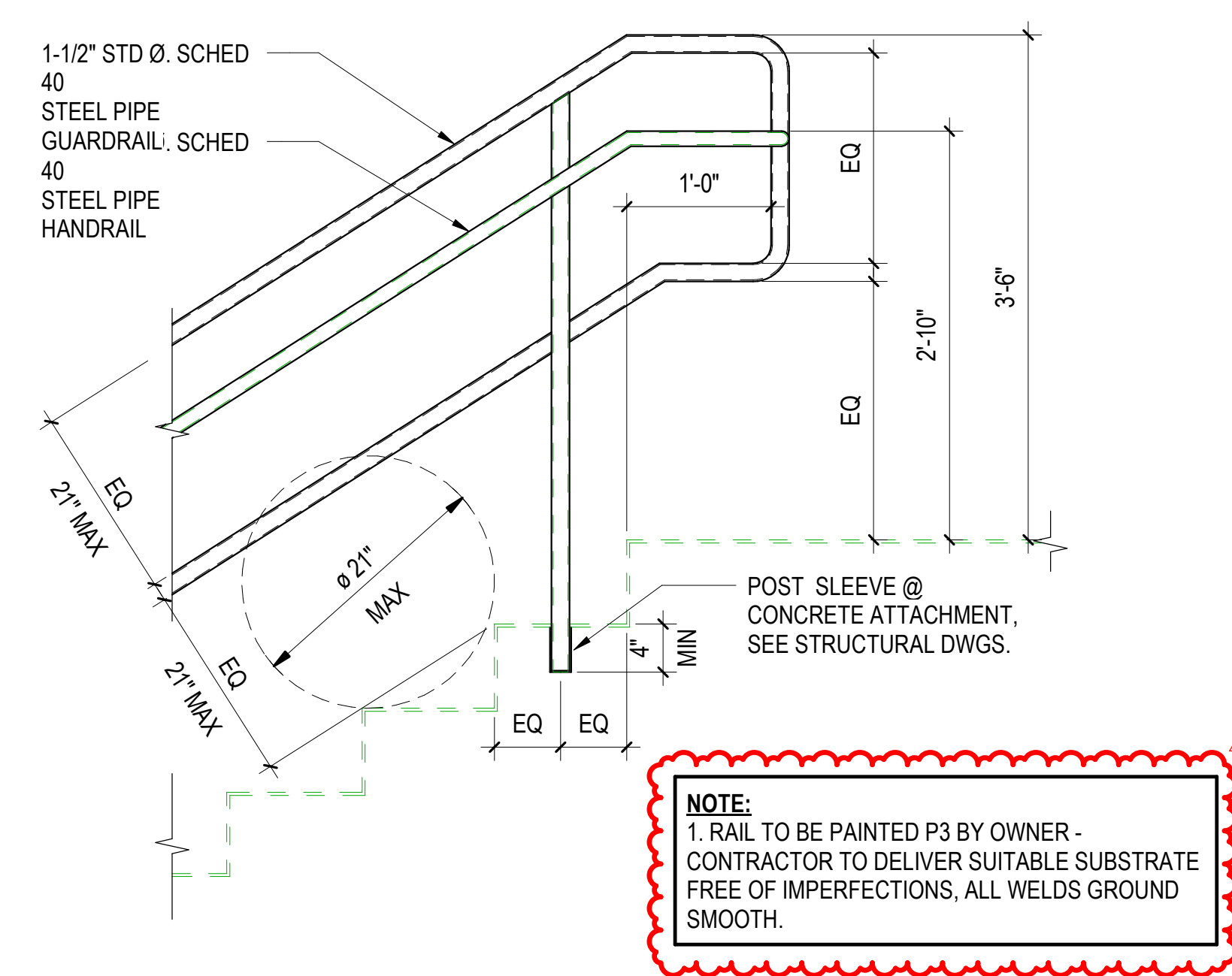
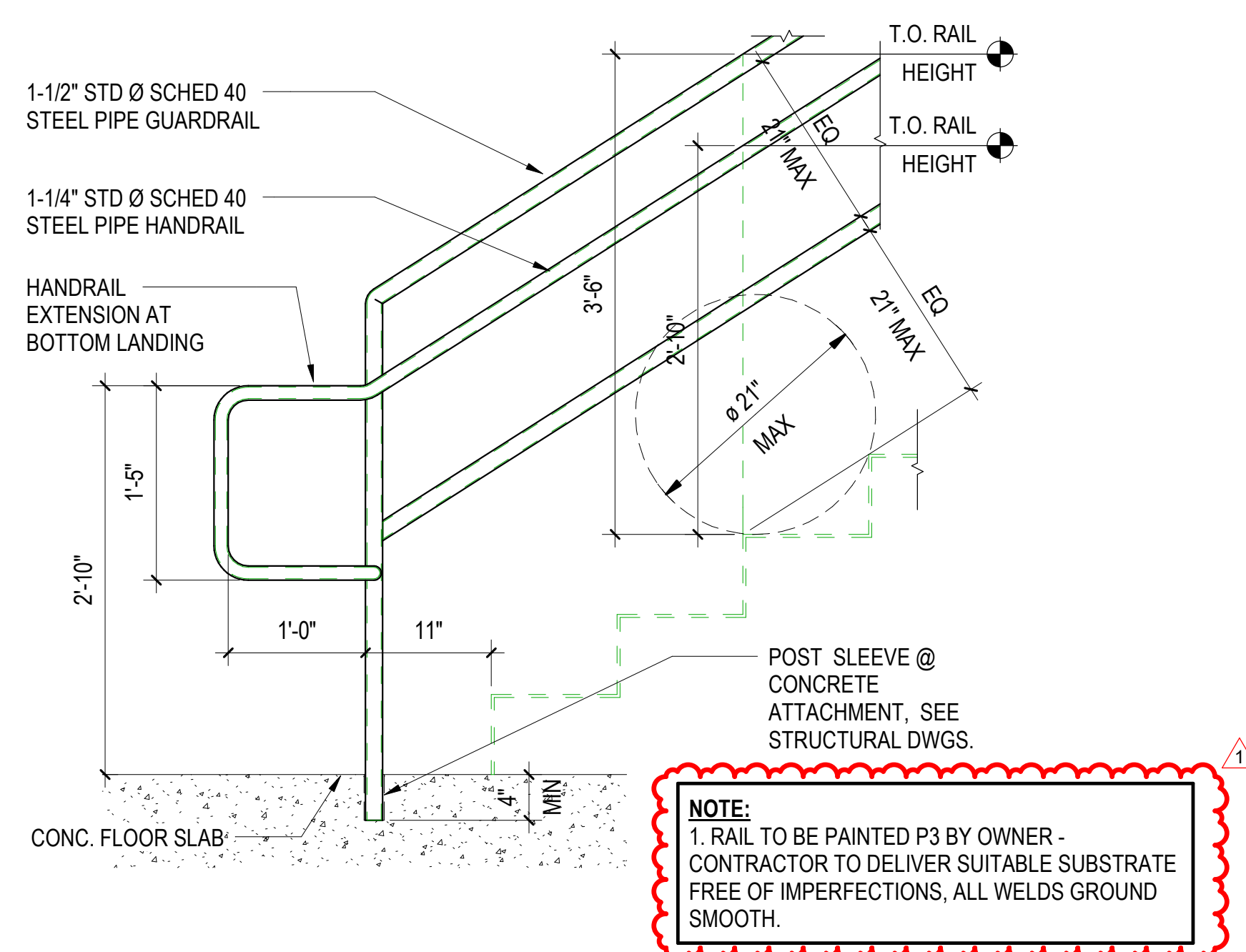
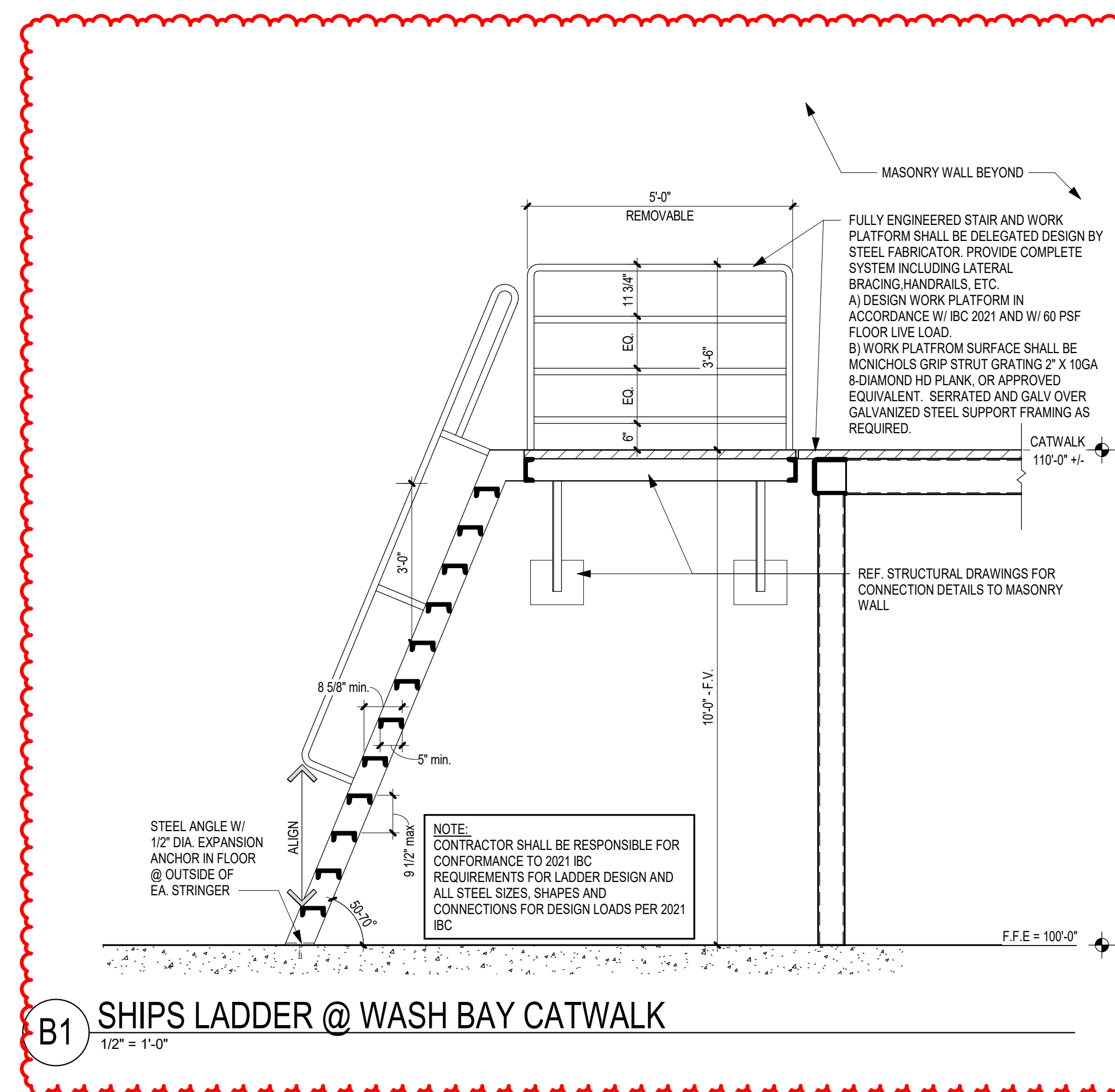


**A5** TYPE 302M FIXED SHELF MICROWAVE WALL CAB. DET.  
1 1/2" = 1'-0"



**A7** TYPE VB1 ADA VANITY CABINET DET.  
1 1/2" = 1'-0"





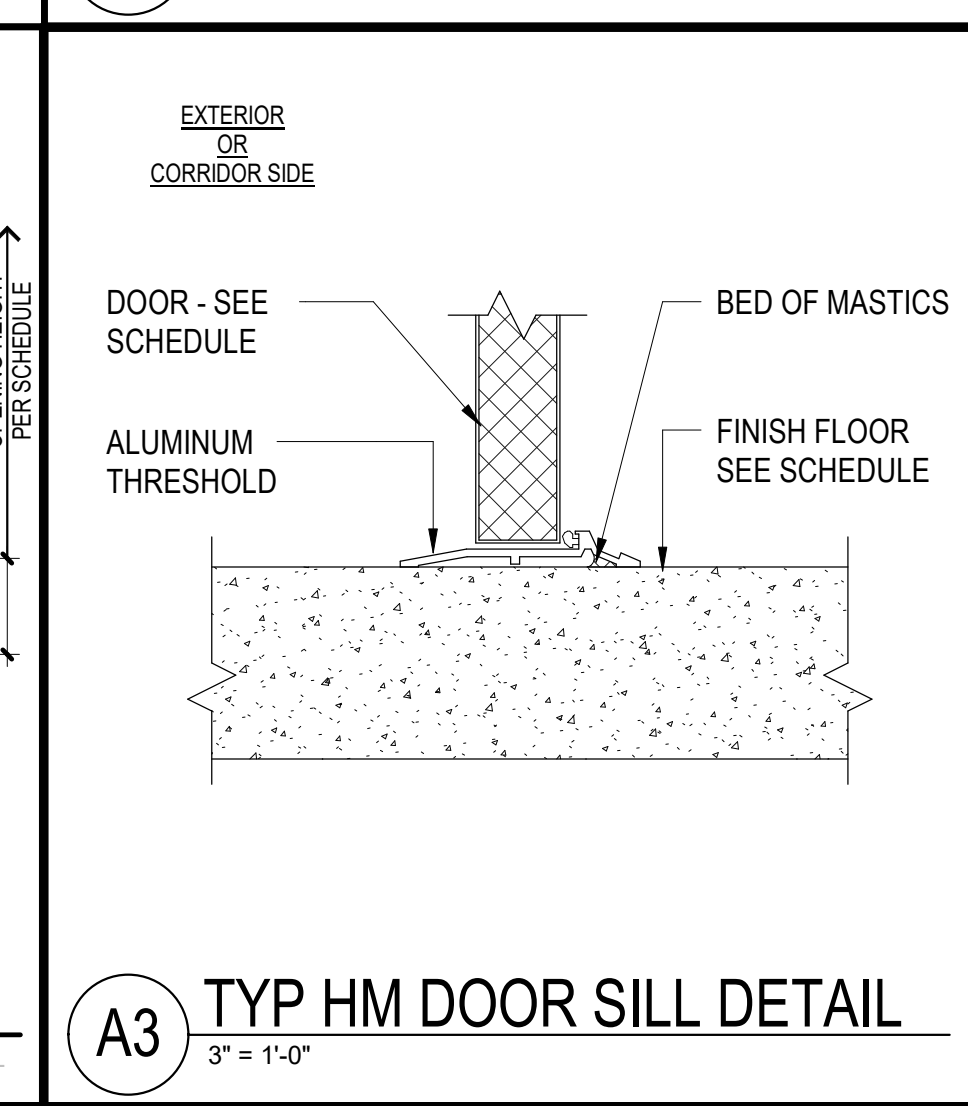
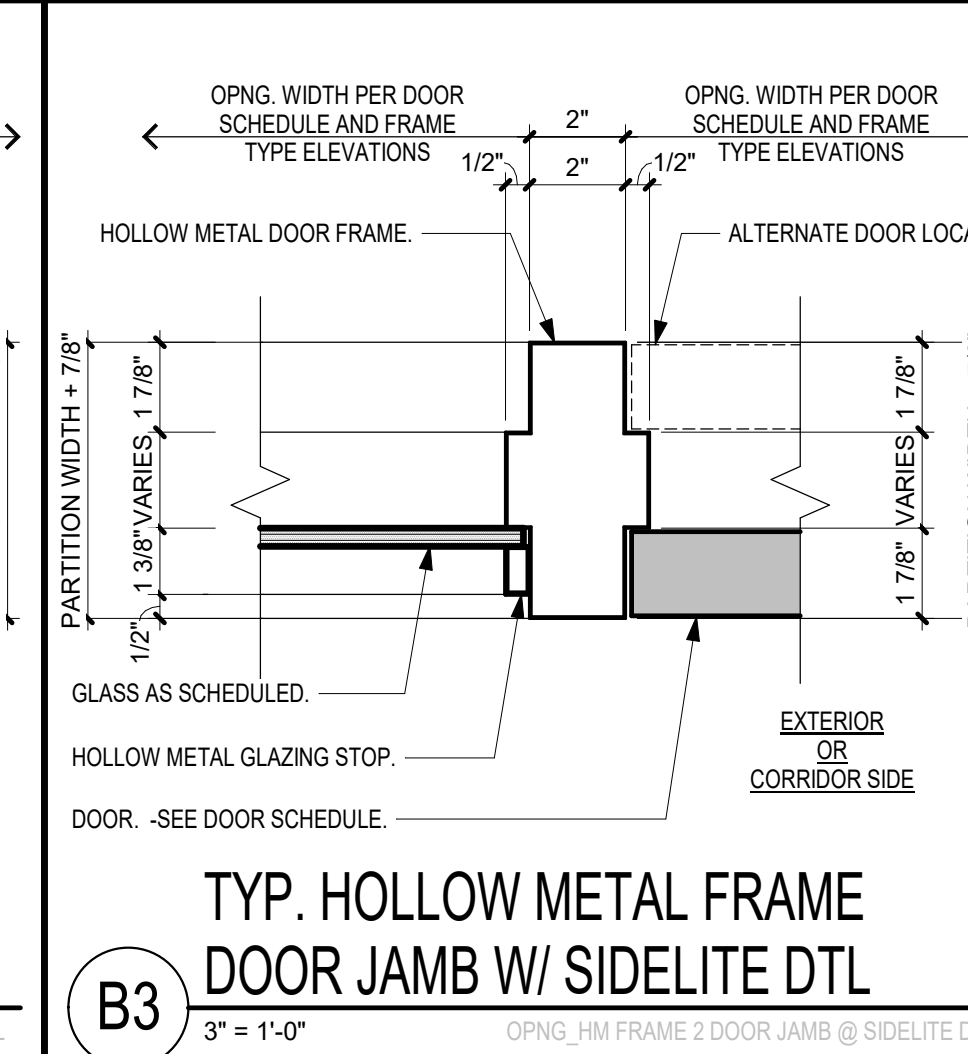
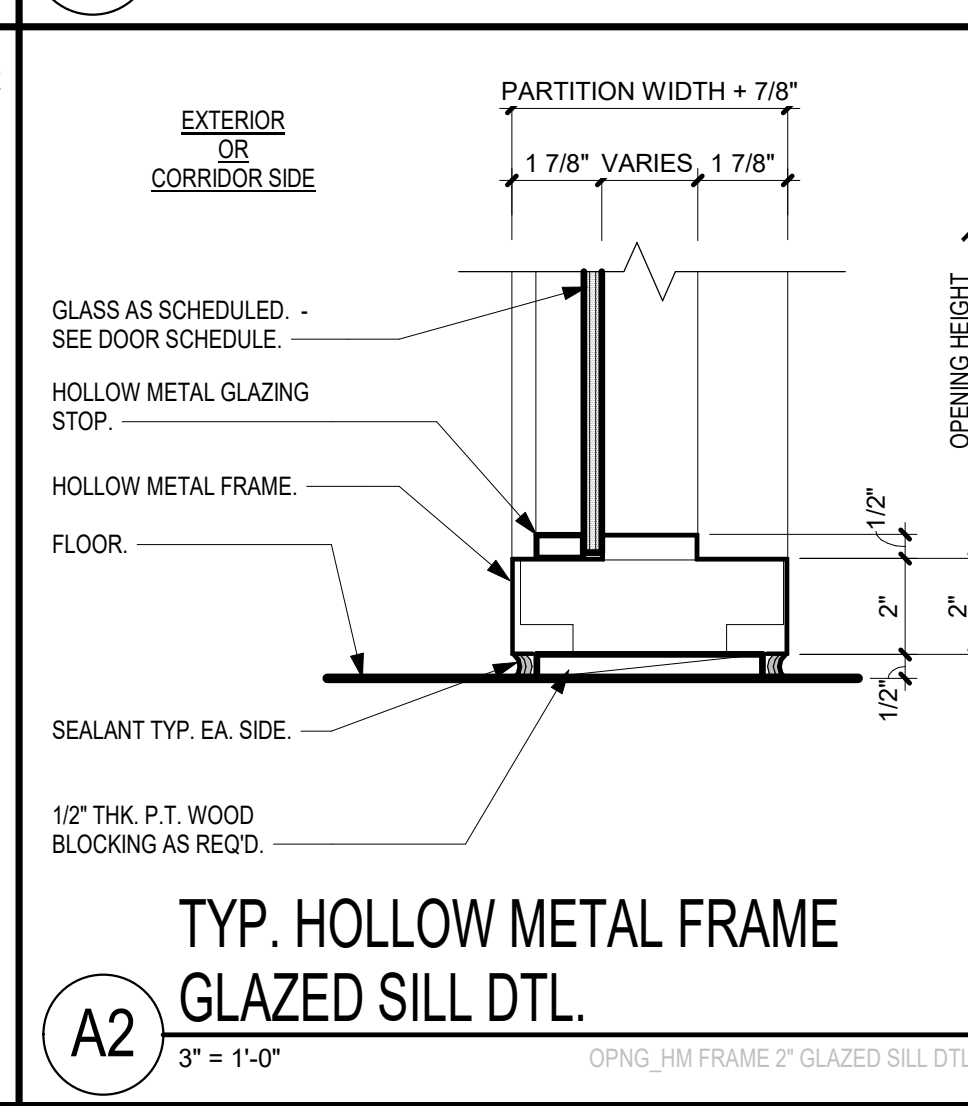
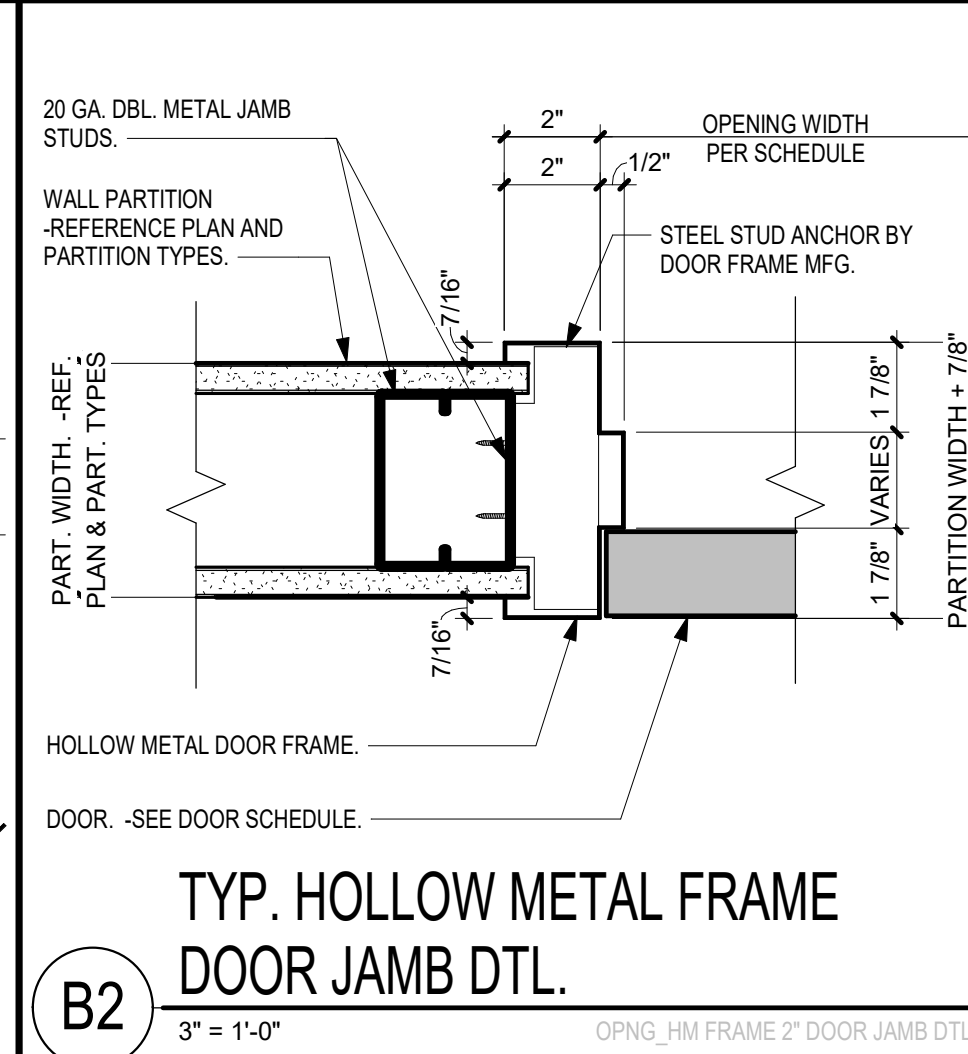
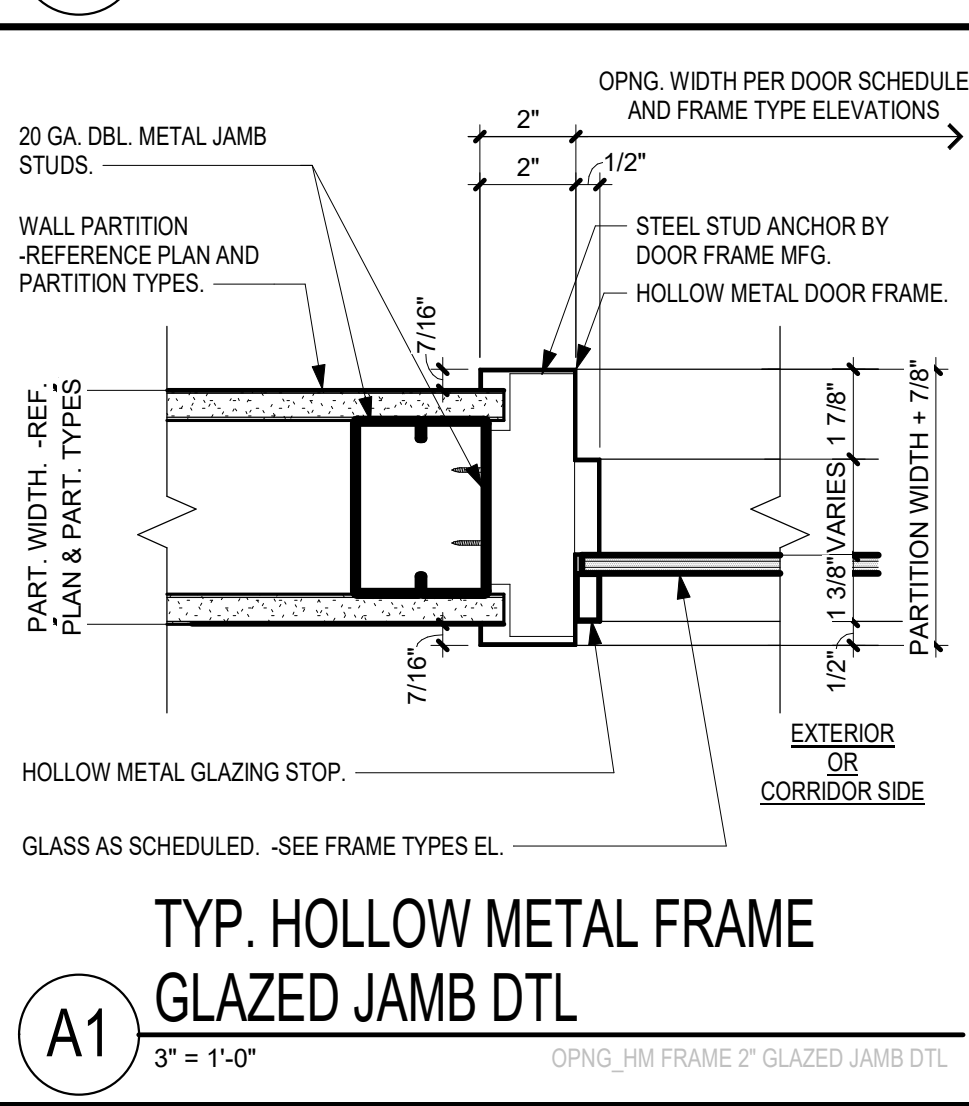
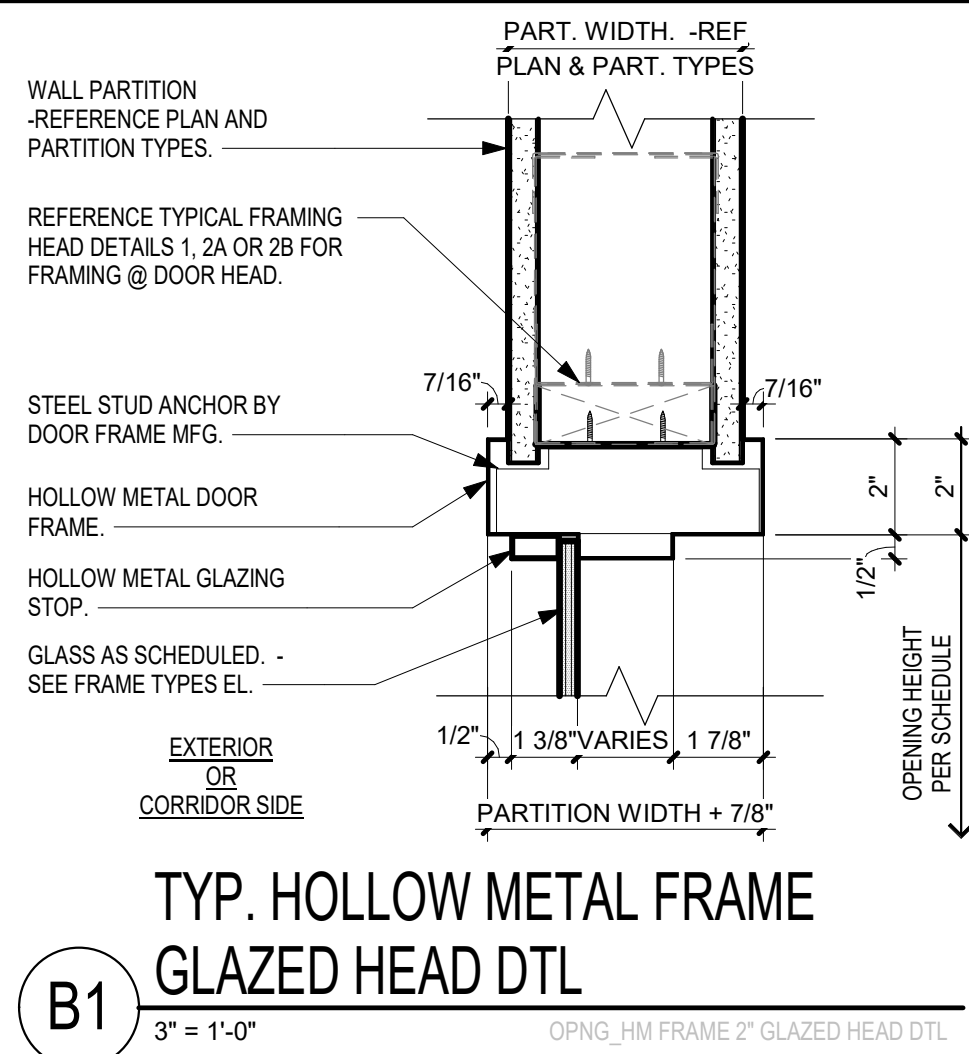


## DOOR TYPES ELEVATIONS

1/4" = 1'-0"

## GLAZING TYPE SCHEDULE

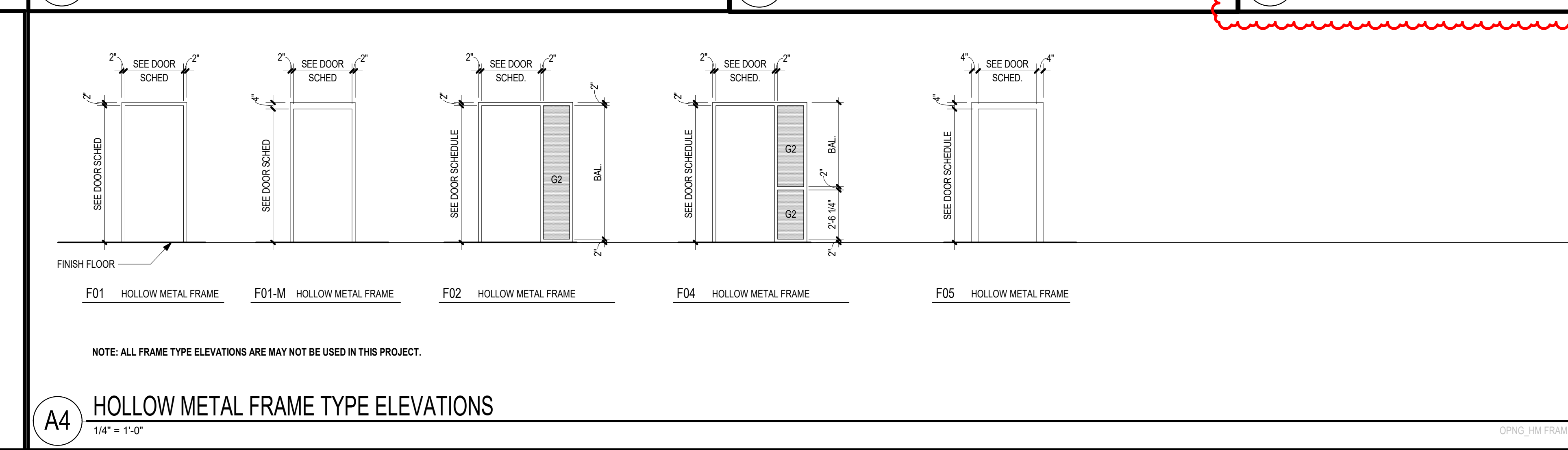
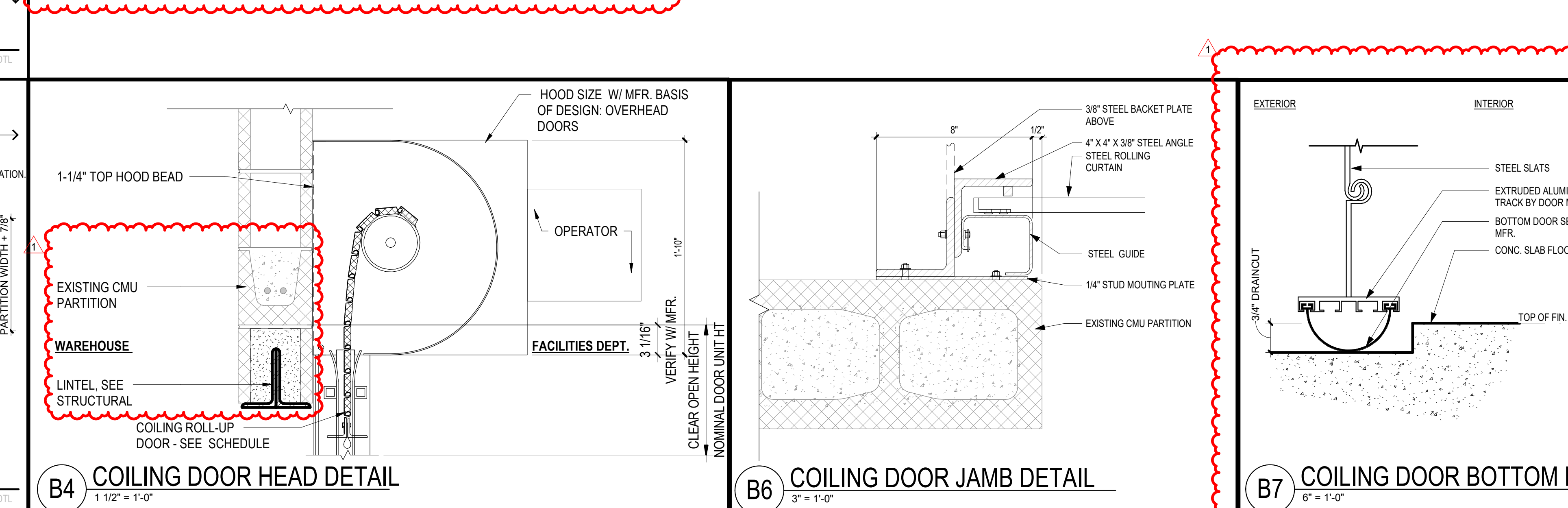
GLAZING TYPE	DESCRIPTION
-NOTE-	NOT ALL GLASS USED IN PROJECT. REFER TO DOOR SCHEDULE & WINDOW FRAME TYPES
G1	1/4" CLEAR GLAZING
G2	1/4" TEMPERED CLEAR GLAZING
G3	1/2" TEMPERED CLEAR GLAZING
G4	3/16" PREMIUM GRADE FIRE RATED GLASS CERAMIC SAFETY GLAZING
G5	1" INSULATED GLAZING
G6	1" TEMPERED INSULATED GLAZING
G7	1" INSULATED SPANDREL GLAZING
G8	1" INSULATED TEMPERED SPANDREL GLAZING
G9	3/4" PREMIUM GRADE 45 MIN. FIRE RATED SAFETY GLAZING
G10	1/4" CLEAR LAMINATED GLAZING
G11	1" INSULATED GLAZING W/ SATIN OPAQUE (LEVEL 4) ACID ETCHING ON SURFACE 3
G12	1" TEMPERED INSULATED GLAZING W/ SATIN OPAQUE (LEVEL 4) ACID ETCHING ON SURFACE 3
G13	1 3/16" BULLET RESISTANT POLYCARBONATE COMPOSITE CLEAR GLAZING (LEVEL 3)
G13A	1 1/4" BULLET RESISTANT POLYCARBONATE COMPOSITE CLEAR GLAZING (LEVEL 4)
G13B	3/4" BULLET RESISTANT POLYCARBONATE COMPOSITE CLEAR GLAZING (LEVEL 1)
G13C	REFERENCE SPECIFICATION GLAZING UNITS TYPE "G13C"
G14	1 1/4" RADIATION SHIELDING GLAZING
G15	OKALUX + 1" INSULATED GLAZING W/ CAPILLARY SLABS ENCASED IN FIBER TISSUE



DOOR SCHEDULE														CURRENT REVISION	INTERIOR PACKAGE DOOR
MARK	PAIR	WIDTH	HEIGHT	THICK	FRAME PROPERTIES			DOOR PROPERTIES			HARDWARE GROUP	COMMENTS			
					FRAME TYPE	FRAME MATERIAL	FRAME FINISH	TYPE	DOOR MATERIAL	DOOR FINISH					
E0101A	X	3'-2 3/8"	6'-11 9/16"	1 3/4"		ALUM	ANOD	-FG3-	ALUM	ANOD	28.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0101B	X	3'-2 3/8"	7'-1 9/16"	1 3/4"		ALUM	ANOD	-FG3-	ALUM	ANOD	28.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0106		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	22.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0116		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	22.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0118		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD	-	22.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0121		4'-0"	7'-0"	1 3/4"	F01	HM	-	-	WD	-	22.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0124		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	24.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0211		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	24.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0218		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	24.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0310		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD	-	24.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0321		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD	-	24.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *			
E0401D		3'-0"	1 3/4"	1 3/4"	F01	HM	P2	-	HM	P2	20.0	EXISTING DOOR TO RECEIVE NEW DOOR HARDWARE			
E0401E		14'-0"	18'-0"	2"	STL	-	-	-	ALUM	-	19.0	EXISTING DOOR TO RECEIVE POWER, AND OPERATOR CONTROLS.			
E0003B	X	3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	20.0	EXISTING DOOR TO RECEIVE NEW DOOR HARDWARE			
E0101	X	2'-10 7/8"	8'-1 23/32"	1 3/4"	ALUM	ANOD	-FG3-	ALUM	ANOD	28.0	EXISTING DOOR TO RECEIVE CARD ACCESS SYSTEMS. *				
EW132		3'-4 1/2"	7'-0"	1 3/4"	F01-M	HM	P2	-	HW	P2	9.0	EXISTING DOOR TO RECEIVE NEW DOOR HARDWARE			
EW145		3'-2 1/2"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	9.0	EXISTING DOOR TO RECEIVE NEW DOOR HARDWARE			
O108		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	11.0	NEW DOOR, FRAME, AND HARDWARE			
O109		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	11.0	NEW DOOR, FRAME, AND HARDWARE			
O110		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	11.0	NEW DOOR, FRAME, AND HARDWARE			
O204		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	11.0	NEW DOOR, FRAME, AND HARDWARE			
O303		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	17.0	NEW DOOR, FRAME, AND HARDWARE			
O304		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	17.0	NEW DOOR, FRAME, AND HARDWARE			
O305		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	8.1	NEW DOOR, FRAME, AND HARDWARE			
O307		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	11.0	NEW DOOR, FRAME, AND HARDWARE			
O308		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	11.0	NEW DOOR, FRAME, AND HARDWARE			
O309		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	10.0	NEW DOOR, FRAME, AND HARDWARE			
O311		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	8.1	NEW DOOR, FRAME, AND HARDWARE			
O312		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	8.1	NEW DOOR, FRAME, AND HARDWARE			
O313		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	8.2	NEW DOOR, FRAME, AND HARDWARE			
O314		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	16.0	NEW DOOR, FRAME, AND HARDWARE			
O315		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	16.0	NEW DOOR, FRAME, AND HARDWARE			
O316		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	12.1	NEW DOOR, FRAME, AND HARDWARE			
O318		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	8.2	NEW DOOR, FRAME, AND HARDWARE			
O319A		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	3.0	NEW DOOR, FRAME, AND HARDWARE			
O319B		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	WD1	STAIN	3.0	NEW DOOR, FRAME, AND HARDWARE			
W001A		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	2.1	NEW DOOR, FRAME, AND HARDWARE			
W001B		14'-0"	18'-0"	2"	STL	-	-	-	ALUM	-	19.0	NEW OVERHEAD DOOR TO RECEIVE POWER, AND OPERATOR CONTROLS.			
W001C		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	12.0	NEW DOOR, FRAME, AND HARDWARE			
W002		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	2.1	NEW DOOR, FRAME, AND HARDWARE			
W003A		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	2.1	NEW DOOR, FRAME, AND HARDWARE			
W102		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	12.0	NEW DOOR, FRAME, AND HARDWARE			
W103		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	11.0	NEW DOOR, FRAME, AND HARDWARE			
W104		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	11.0	NEW DOOR, FRAME, AND HARDWARE			
W106		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	16.0	NEW DOOR, FRAME, AND HARDWARE			
W107		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	12.2	NEW DOOR, FRAME, AND HARDWARE			
W108		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	12.2	NEW DOOR, FRAME, AND HARDWARE			
W109		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	13.0	NEW DOOR, FRAME, AND HARDWARE			
W110		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	16.0	NEW DOOR, FRAME, AND HARDWARE			
W111		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	16.0	NEW DOOR, FRAME, AND HARDWARE			
W112		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	8.0	NEW DOOR, FRAME, AND HARDWARE			
W115		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	15.0	NEW DOOR, FRAME, AND HARDWARE			
W116A	X	3'-0"	7'-0"	1 3/4"	F01	HM	P2	-N1-	HM	P2	4.0	NEW DOOR, FRAME, AND HARDWARE			
W116B	X	3'-0"	7'-0"	1 3/4"	F01	HM	P2	-N1-	HM	P2	4.0	NEW DOOR, FRAME, AND HARDWARE			
W119		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	24.0	NEW DOOR TO RECEIVE DOOR FRAME, HARD WARE, AND CARD ACCESS SYSTEMS. *			
W120A		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	18.0	NEW DOOR, FRAME, AND HARDWARE			
W120B		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	18.0	NEW DOOR, FRAME, AND HARDWARE			
W121A		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	18.0	NEW DOOR, FRAME, AND HARDWARE			
W122		2'-6"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	17.0	NEW DOOR, FRAME, AND HARDWARE			
W123		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	16.0	NEW DOOR, FRAME, AND HARDWARE			
W124		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	6.0	ICC 500 STORM RATED HM FRAME DOOR, AND HARDWARE			
W125A		6'-0"	8'-0"	2"	CS	-	-	-	-	-	19.0	NEW COILING DOOR, COORDINATE LOCATION TO PREVENT INTERFERENCE WITH STAIR			
W125B		3'-0"	7'-0"	1 3/4"	F1, F01	HM	P2	-	HM	P2	19.0	NEW DOOR, FRAME, AND HARDWARE			
W127		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	19.0	NEW DOOR, FRAME, AND HARDWARE			
W130A		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	18.0	RELOCATED EXISTING COILING DOOR AND HOOD TO RECEIVE POWER AND NEW OPERATOR CONTROLS.			
W130B		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	24.0	NEW DOOR TO RECEIVE DOOR FRAME, HARD WARE, AND CARD ACCESS SYSTEMS. *			
W130C		3'-0"	7'-0"	1 3/4"	F01-M	HM	P2	-	HM	P2	19.0	RELOCATED EXISTING COILING DOOR AND HOOD TO RECEIVE POWER AND NEW OPERATOR CONTROLS.			
W146		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	12.2	NEW DOOR, FRAME, AND HARDWARE			
W147		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	12.2	NEW DOOR, FRAME, AND HARDWARE			
W149A		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	13.0	NEW DOOR, FRAME, AND HARDWARE			
W149B	X	3'-0"	7'-0"	1 3/4"	F01	HM	P2	-N1-	HM	P2	7.0	NEW DOOR, FRAME, AND HARDWARE			
W152		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	12.0	NEW DOOR, FRAME, AND HARDWARE			
W201		3'-0"	7'-0"	1 3/4"	F01	HM	P2	-	HM	P2	8.0	NEW DOOR, FRAME, AND HARDWARE			

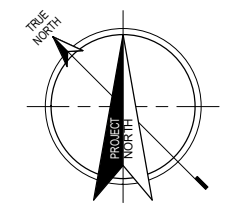
COMMENTS

\* CARD ACCESS SYSTEMS PROVIDED AND INSTALLED BY OWNER VENDOR. ELECTRONIC STRIKE PROVIDED AND INSTALLED BY GC.

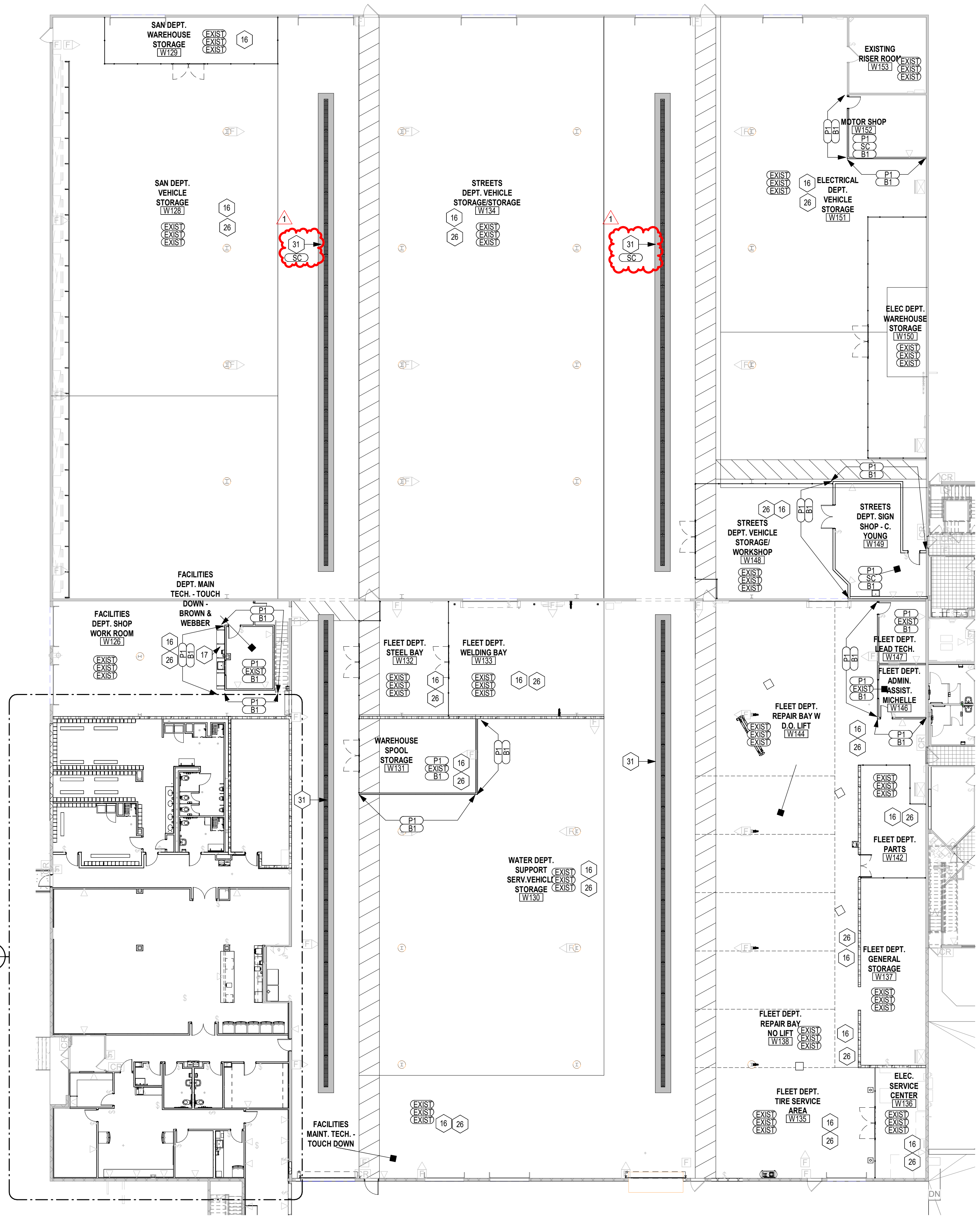


NOTE: ALL FRAME TYPE ELEVATIONS ARE MAY NOT BE USED IN THIS PROJECT.





**A1** WAREHOUSE FINISH FLOOR PLAN -LEVEL 01  
1/16" = 1'-0"



## INTERIOR FINISH GENERAL NOTES

- INTERIOR FINISH MATERIALS SHALL COMPLY WITH THE FLAME SPREAD & SMOKE DEVELOPMENT LIMITATION USED IN CHAPTER 8 OF THE INTERNATIONAL BUILDING CODE.
- ALL INTERIOR WALL COVERINGS MUST COMPLY WITH THE FOLLOWING: CLASS 1, FLAME SPREAD RATING 0-25 ASTM-E-84 PER FINISH SHEET.
- G.C. TO SUBMIT ALL FINISHES IN MATERIAL SAMPLE FORM TO DESIGNER FOR APPROVAL PRIOR TO ORDER OF MATERIALS - NO INTERNET OR COPY FORM SUBMITTALS WILL BE APPROVED.
- ALL WALLS TO BE PAINTED P1 AND ALL INTERIOR DOOR FRAMES TO BE PAINTED P2 UNLESS NOTED OTHERWISE. ALL PAINTED SURFACES TO RECEIVE (1) PRIME COAT AND A MINIMUM OF (2) FINISH COATS PER PAINT COLOR.
- REFER TO REFLECTED CEILING PLAN FOR CEILING SYSTEM TYPES AND SOFFIT ACCENT PAINT COLOR LOCATIONS. ALL EXPOSED FACES OF SOFFITS TO BE PAINTED INCLUDING UNDERSIDE. ALL GYP. BD. CEILINGS TO BE PAINTED P4 UNLESS NOTED OTHERWISE.
- REFER TO FLOOR PLAN FOR ADJUSTABLE SHELVING LOCATIONS. ADJUSTABLE SHELVING SHALL BE HEAVY DUTY WHITE MELAMINE SHELVES WITH WHITE PVC EDGES MOUNTED ON WHITE HEAVY DUTY WALL MOUNTED STANDARDS WITH WHITE ADJUSTABLE HEAVY DUTY BRACKETS UNLESS NOTED OTHERWISE.
- ALL BUILT-IN CASEWORK TO BE VERIFIED AND COORDINATED WITH OWNER. G.C. TO SUBMIT SHOP DRAWINGS TO DESIGNER FOR APPROVAL PRIOR TO ORDER OF MATERIALS.
- ALL HARDWARE TO BE BRUSHED STAINLESS STEEL FINISH UNLESS NOTED OTHERWISE.
- PROVIDE APPROPRIATE ADA COMPLIANT TRANSITION/REDUCER STRIPS TO MATCH FLOORING AT ALL FLOORING MATERIAL TRANSITIONS AS NEEDED UNLESS NOTED OTHERWISE.
- ALL FLOORING PATTERN/GRAIN TO RUN IN THE SAME DIRECTION THROUGHOUT UNLESS NOTED OTHERWISE. SEE FINISH FLOOR PLAN.
- SEE FINISH FLOOR PLAN FOR WALL PROTECTION LOCATIONS. WAHSCOTS AND CORNER GUARDS WHERE NOTED TO BE INSTALLED SO THAT BOTTOM EDGE ALIGNS WITH TOP EDGE OF SPECIFIED BASE. TYPICAL THROUGHOUT.
- SUBMIT SHOP DRAWINGS FOR ALL WINDOW TREATMENTS TO DESIGNER FOR APPROVAL PRIOR TO ORDER OF MATERIALS.
- PROVIDE (2) BOXES OF EACH CARPET TILE FOR OWNER'S FUTURE MAINTENANCE.

## FINISH PLAN LEGEND

- SYMBOL DENOTES:
- |              |   |                             |
|--------------|---|-----------------------------|
| WALL FINISH  | → | FLOOR MATERIAL CHANGE       |
| FLOOR FINISH | → | CARPET PATTERN / TILE / LVT |
| BASE FINISH  | → | DIRECTION                   |

NOTE: \* INDICATES THAT FINISH VARIES. REF. ELEVATIONS AND FINISH PLAN FOR ADD'L INFO

EACH ROOM SHALL HAVE A ROOM FINISH TAG. SEE FLOOR FINISH PLAN. REFER TO FINISH PLAN KEYNOTES FOR CASEWORK FINISHES AND REFLECTED CEILING PLAN FOR CEILING FINISHES.

## KEYED NOTES FINISH FLOOR PLAN

MARK	DESCRIPTION
16	WAREHOUSE & MEZZANINE AREAS: OWNER PROVIDED NEW SAFETY STRIPING P3 ON CONCRETE FLOOR AND SAFETY RAILINGS PAINT P3.
17	25'D PLASTIC LAMINATE COUNTERS & 4TH BACK & SIDE SPLASHES PL2. BASE/WALL CABINETS PL1. ANGLED SUPPORT BRACKETS AS REQUIRED.
26	WAREHOUSE AREA: NEW GYP BOARD WALLS TO BE PAINTED P1. NEW CMU WALLS ARE NOT TO BE PAINTED. EXISTING WALLS TO REMAIN AS IS UNQ. VERIFY ALL WORK REQUIRED.
31	WAREHOUSE AREA: NEW SEALED CONCRETE FLOOR SC AT NEW TRENCH DRAINS TYPICAL.

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Expires: 12/31/2024

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Proposed:

**KIRKWOOD PUBLIC WORKS  
RENOVATION**

545 LEFFINGWELL AVE.

Revision

ADDENDUM 1

No. 1

Date

4/10/2026

Project No.  
24059

Sheet No.

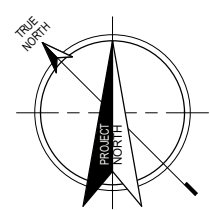
**A700**

Date

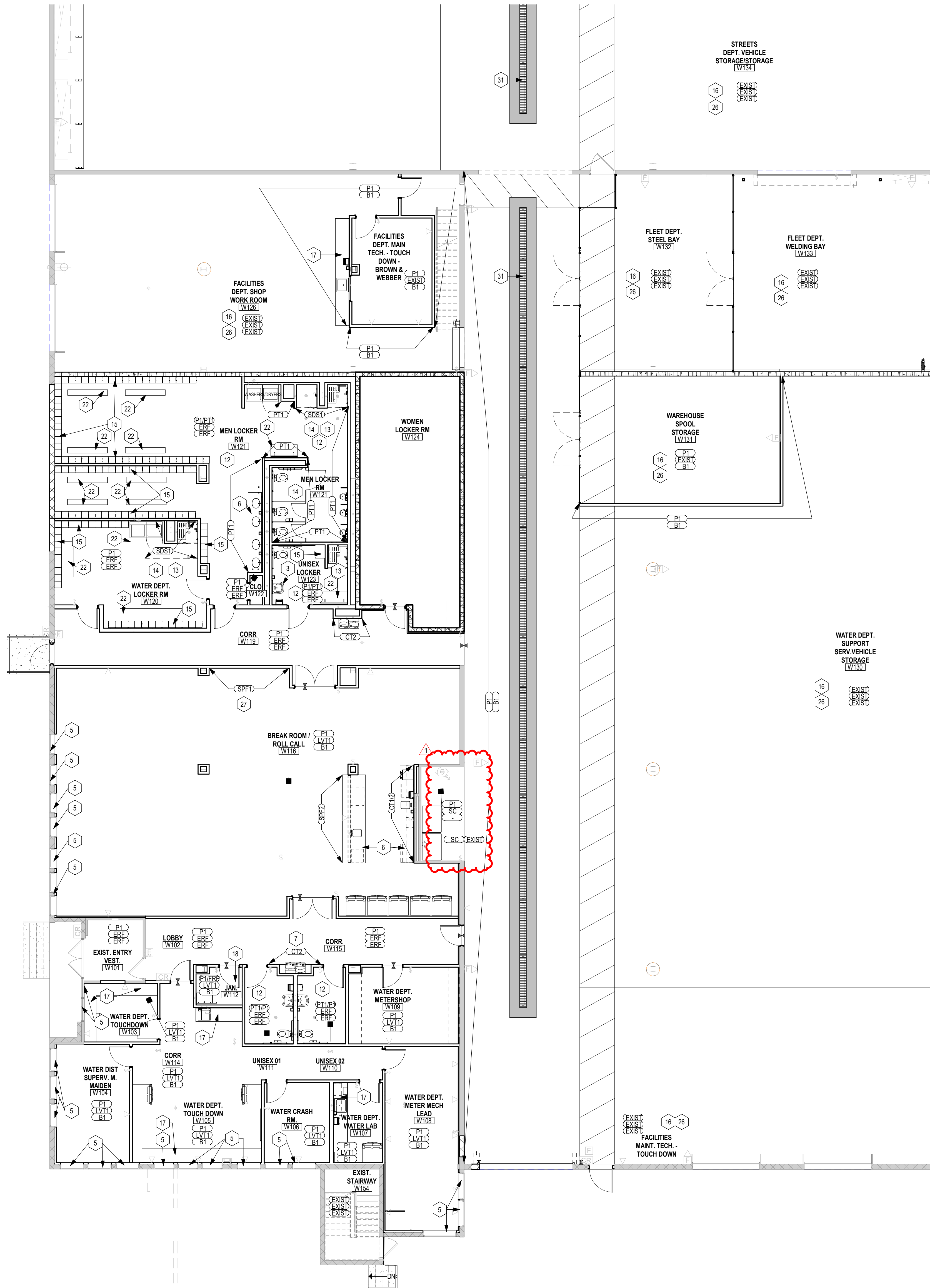
04/10/2026

**WAREHOUSE FIN. FLOOR PLAN -L01**





**A2** ENLARGED WAREHOUSE OFFICE FINISH FLOOR PLAN - LEVEL 01  
1/8" = 1'-0"



**INTERIOR FINISH GENERAL NOTES**

1. INTERIOR FINISH MATERIALS SHALL COMPLY WITH THE FLAME SPREAD & SMOKE DEVELOPMENT LIMITATION USED IN CHAPTER 8 OF THE INTERNATIONAL BUILDING CODE.
2. ALL INTERIOR WALL COVERINGS MUST COMPLY WITH THE FOLLOWING: CLASS 1, FLAME SPREAD RATING 0-25 ASTM-E-84 PER FINISH SHEET.
3. G.C. TO SUBMIT ALL FINISHES IN MATERIAL SAMPLE FORM TO DESIGNER FOR APPROVAL PRIOR TO ORDER OF MATERIALS - NO INTERNET OR COPY FORM SUBMITTALS WILL BE APPROVED.
4. ALL WALLS TO BE PAINTED P1 AND ALL INTERIOR DOOR FRAMES TO BE PAINTED P2 UNLESS NOTED OTHERWISE. ALL PAINTED SURFACES TO RECEIVE (1) PRIME COAT AND A MINIMUM OF (2) FINISH COATS PER PAINT COLOR.
5. REFER TO REFLECTED CEILING PLAN FOR CEILING SYSTEM TYPES AND SOFFIT ACCENT PAINT COLOR LOCATIONS. ALL EXPOSED FACES OF SOFFITS TO BE PAINTED INCLUDING UNDERSIDE. ALL GYP. BD. CEILINGS TO BE PAINTED P4 UNLESS NOTED OTHERWISE.
6. REFER TO FLOOR PLAN FOR ADJUSTABLE SHELVING LOCATIONS. ADJUSTABLE SHELVING SHALL BE HEAVY DUTY WHITE MELAMINE SHELVES WITH WHITE PVC EDGES MOUNTED ON WHITE HEAVY DUTY WALL MOUNTED STANDARDS WITH WHITE ADJUSTABLE HEAVY DUTY BRACKETS UNLESS NOTED OTHERWISE.
7. ALL BUILT-IN CASEWORK TO BE VERIFIED AND COORDINATED WITH OWNER. G.C. TO SUBMIT SHOP DRAWINGS TO DESIGNER FOR APPROVAL PRIOR TO ORDER OF MATERIALS.
8. ALL HARDWARE TO BE BRUSHED STAINLESS STEEL FINISH UNLESS NOTED OTHERWISE.
9. ALL FLOORING TO RUN FROM PARTITION TO PARTITION AND CENTER FLOORING IN DOOR OPENINGS AS REQUIRED, TYPICAL THROUGHOUT.
10. PROVIDE APPROPRIATE ADA COMPLIANT TRANSITION/REDUCER STRIPS TO MATCH FLOORING AT ALL FLOORING MATERIAL TRANSITIONS AS NEEDED UNLESS NOTED OTHERWISE.
11. ALL FLOORING PATTERN/RAIN TO RUN IN THE SAME DIRECTION THROUGHOUT UNLESS NOTED OTHERWISE. SEE FINISH FLOOR PLAN.
12. SEE FINISH FLOOR PLAN FOR FLOOR PROTECTION LOCATIONS, WAHNSCOTS AND CORNER GUARDS WHERE NOTED TO BE INSTALLED SO THAT BOTTOM EDGE ALIGNS WITH TOP EDGE OF SPECIFIED BASE, TYPICAL THROUGHOUT.
13. SUBMIT SHOP DRAWINGS FOR ALL WINDOW TREATMENTS TO DESIGNER FOR APPROVAL PRIOR TO ORDER OF MATERIALS.
14. PROVIDE (2) BOXES OF EACH CARPET TILE FOR OWNER'S FUTURE MAINTENANCE.

**FINISH PLAN LEGEND**

- SYMBOL DENOTES:
- WALL FINISH
  - FLOOR FINISH
  - BASE FINISH
  - FLOOR MATERIAL CHANGE
  - CARPET PATTERN / TILE / LVT DIRECTION

NOTE: \* INDICATES THAT FINISH VARIES. REF. ELEVATIONS AND FINISH PLAN FOR ADD'L INFO

EACH ROOM SHALL HAVE A ROOM FINISH TAG. SEE FLOOR FINISH PLAN. REFER TO FINISH PLAN KEY NOTES FOR CASEWORK FINISHES AND REFLECTED CEILING PLAN FOR CEILING FINISHES.

**KEYED NOTES FINISH FLOOR PLAN**

MARK	DESCRIPTION
3	RESTROOM NEW WALL MOUNTED PORCELAIN SINK INCLUDE COORDINATING ADA COMPLIANT PRE-DRILLED
5	WINDOW TREATMENTS: MINI BLINDS TO REMAIN. AT AREAS OF NEW WORK PROVIDE HORIZ. MINI BLINDS TO MATCH EXISTING WT1. SEE FINISH SCHEDULE 25 D PLASTIC LAMINATE COUNTERS & 4" BACK & SIDE SPLASHES PL2. BASEWALL CABINETS PL1.
7	DRINKING FOUNTAIN TILE WALL ACCENT CT2. FULL HEIGHT. SEE ELEVATIONS
12	WAREHOUSE & LOCKER ROOMS: INSTALL PORCELAIN TILE WAINSCOT PT1 WET WALLS SINK WALL & SIDE WALLS AT TOILET & URINALS. 8" HIGHS AS INDICATED. CAP EXPOSED EDGES WITH SCHLUTER TR1. INCLUDE ADJACENT RIBBON OF WALL TILE CT2. PAINT ABOVE TILE ALL WALLS. CONCRETE BACKER BOARD AT TILE AND MOISTURE RESISTANT GYP BOARD ALL WALLS. REFER TO ELEVATIONS FOR ADD'L INFORMATION
13	LOCKER ROOM SHOWERS: PROVIDE BLOCKING AT ALL ADA WALL MOUNTED ACCESSORIES. FULL HEIGHT VERTICAL WALL PANELS SDS1 ALL WALLS & OUTSIDE FACE OF WING WALLS. FOLLOW MANUFACTURER'S INSTRUCTIONS FOR INSTALLING WALL PANELS. SEAL ALL PERIMETER EDGES W/ CLEAR SEALANT. SHOWER FLOORS: CONTINUE ERP1 & INTEGRAL BASE INTO SHOWER AREA. ASSURE SLOPE TO DRAIN AND ERP TO HAVE ADDED NO SLIP TEXTURE IN THIS AREA. AT SHOWER ENCLOSURE: PROVIDE & INSTALL HEAVY DUTY SHOWER CURTAIN ROD, RINGS AND ANTIMICROBIAL CURTAIN. 100% VINYL BOBBIX OR APPROVED EQUAL. INSIDE THE SHOWER ENCLOSURE DOOR TL1.
14	TOILET PARTITIONS, URINAL SCREENS, SHOWER ENCLOSURE DOORS: PAINTED STEEL FLOOR MOUNTED OVERHEAD BRACED TL1. SEE FINISH SCHEDULE
15	PROVIDE & INSTALL SINGLE TIER STEEL LOCKERS, SIZE 12"X12"X72", SLOPED TOP. CONTINUOUS 2" BASES. RECESSED HANDLE WITH LIFT HANDLE WITH HASP FOR PADLOCK. FULL HEIGHT VENTILATED DOOR LYON COLLEGIATE OR APPROVED EQUAL. PROVIDE STANDARD PAINTED COLOR CHART FOR APPROVAL
16	WAREHOUSE & MEZZANINE AREAS: OWNER PROVIDED NEW SAFETY STRIPING P3 ON CONCRETE FLOOR AND SAFETY RAILINGS PAINT P3
17	25 D PLASTIC LAMINATE COUNTERS & 4" BACK & SIDE SPLASHES PL2. BASEWALL CABINETS PL1. ANGLED SUPPORT BRACKETS AS REQUIRED
18	JANITOR: INSTALL FRP 52" OAH WAINSCOT AROUND ROOM ALL WALLS (48" FRP INSTALL ALONG TOP OF A 4" H VINYL BASE.) USE ALL COORDINATING PVC TRIM TOP, BOTTOM & INSIDE CORNER PIECES. CLEAR BEAD OF SEALANT ALONG ALL EDGES OF MOP SINK
22	PROVIDE & INSTALL NEW LOCKER ROOM BENCHES, STYLES VARY. NARROW STYLE HARDWOOD TOPS W/ STEEL PEDESTALS ROLL DOWN POWDER COATED ADA W/ BACK STYLE: HARDWOOD TOP & BACK W/ STEEL PEDESTALS ROLL DOWN POWDER COATED LYON OR APPROVED EQUAL
26	WAREHOUSE AREA: NEW GYP BOARD WALLS TO BE PAINTED P1. NEW GYP BOARD WALLS ARE NOT TO BE PAINTED. EXISTING WALLS TO REMAIN AS IS UNLESS OTHERWISE NOTED. VERIFY ALL WORK REQUIRED
27	WALL GRAPHICS: WALL FINISHED TO LEVEL 5 FINISH. SEE FINISH SCHEDULE & ELEVATIONS
31	WAREHOUSE AREA: NEW SEALED CONCRETE FLOOR SC AT NEW TRENCH DRAINS TYPICAL

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Proposed: **KIRKWOOD PUBLIC WORKS**  
**RENOVATION**  
565 LEFFINGWELL AVE.

No.	Date	Revision
1	4/10/2027	ADDENDUM 1

Project No.  
**24059**

Sheet No.  
**A701**

Date  
**04/10/2026**

WAREHOUSE OFF. FIN. FL. PLAN - LVLO1





4/9/2026 1:46:53 PM  
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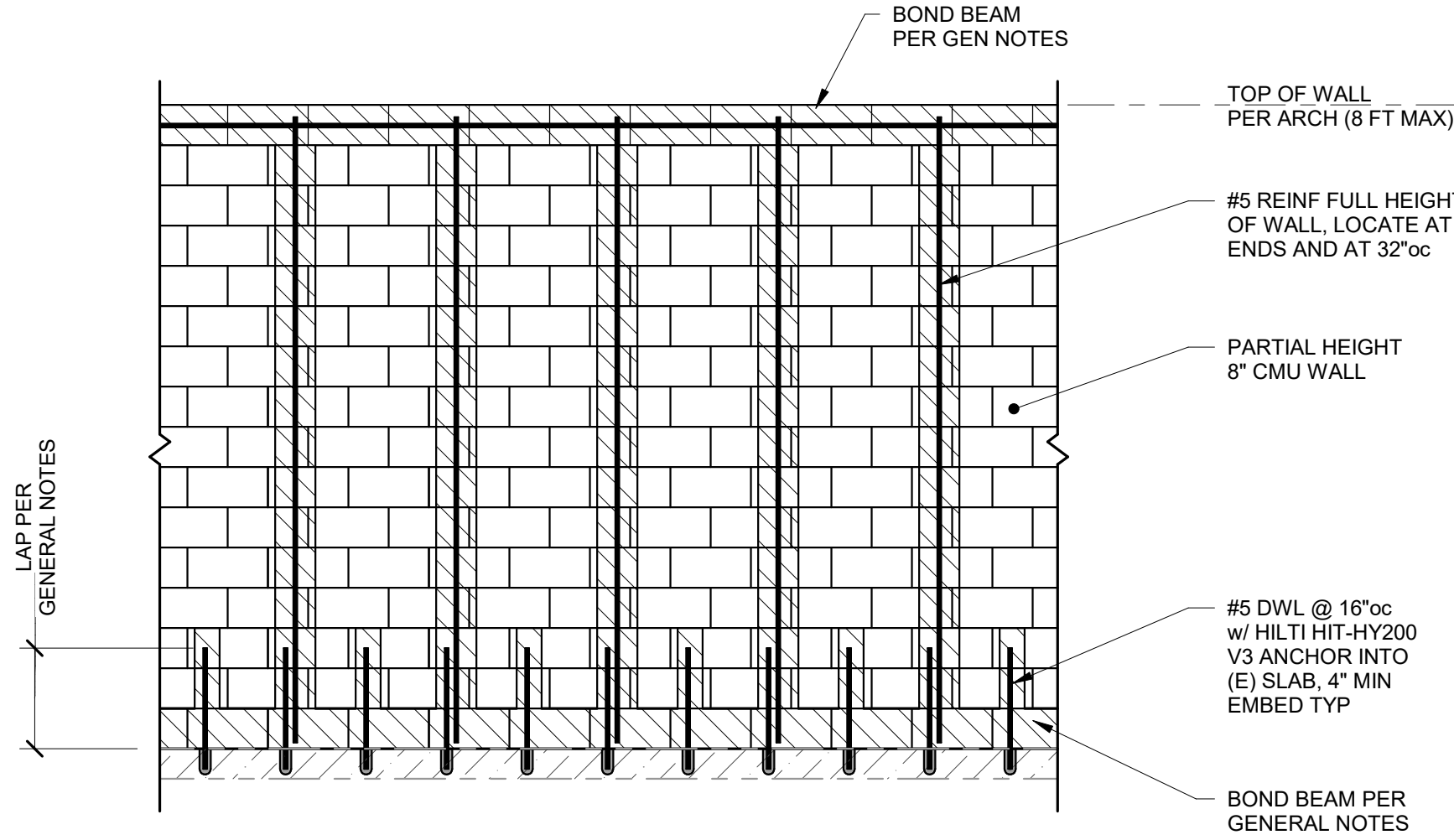
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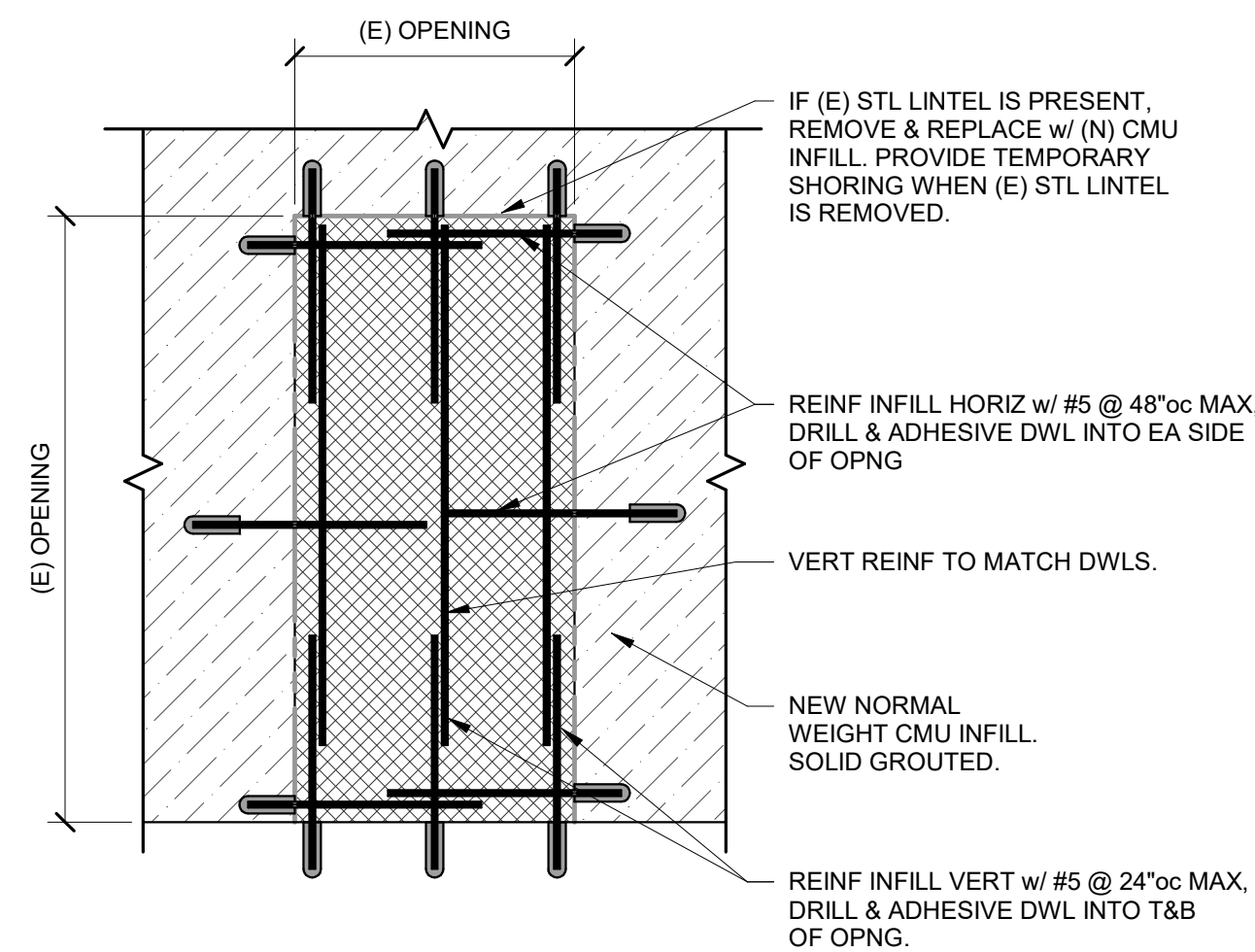
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A



- NOTES:
1. GROUT CELLS FULL HEIGHT AT ALL FULL HEIGHT REINF LOCATIONS.
  2. GROUT CELLS WHERE DOWELS ARE LOCATED, EXTEND MIN 3 COURSES AFF.
  3. LADDER REINFORCEMENT PER GENERAL NOTES.
  4. CONTROL JOINTS PER GENERAL NOTES.

2 TYPICAL PARTIAL HEIGHT CMU WALL REINFORCING ELEVATION  
S005 3/4\"/>



1 TYPICAL CMU WALL INFILL  
S005 NTS

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Kirkwood, MO

Proposed:

**KIRKWOOD PUBLIC WORKS  
RENOVATION**

545 LEFFINGWELL AVE.

Revision

ADDENDUM #1

NO.

DATE

04/12/26

Project No.  
2500232

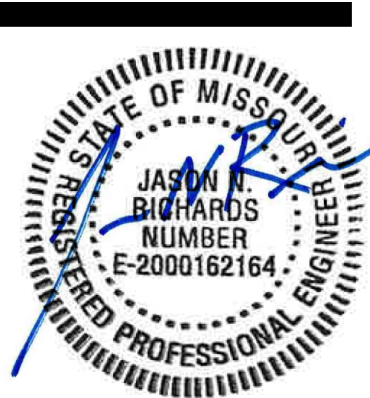
Sheet No.

**S005**

Date

03/30/2026

TYPICAL DETAILS



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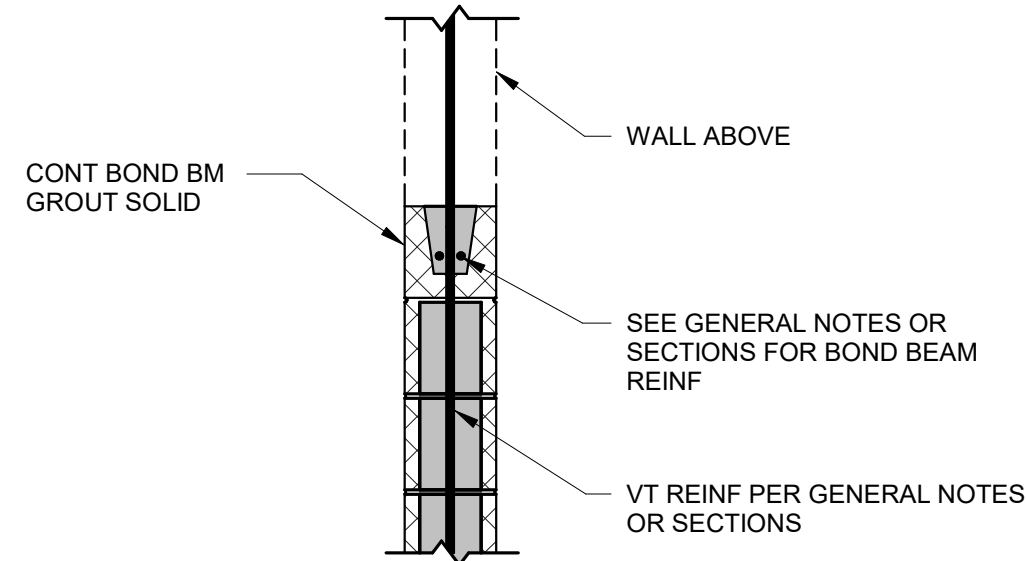
ADDITIONAL SPECIAL INSPECTION REQUIREMENTS  
AT STORM SHELTERS

MASONRY CONSTRUCTION LEVEL C QUALITY ASSURANCE			
SPECIAL INSPECTION ITEM	TYPE OF INSPECTION		REMARKS
	CONTINUOUS	PERIODIC	
1. Compliance with required inspection provisions of the construction documents and the approved submittals shall be verified.		X	
2. Verification of compressive strength of masonry prior to construction and for every 5,000 square feet during construction.		X	
3. Verification of proportions of materials in premixed or preblended mortar and grout as delivered to the site.		X	
4. As masonry construction begins, verify that the following are in compliance:			
a. Proportions of site-prepared mortar and grout.		X	
b. Placement of masonry units and construction of mortar joints.		X	
c. Location of reinforcement and control joints.	X		
5. Prior to grouting, verify that the following are in compliance:			
a. Grout space.	X		
b. Grade, type and size of reinforcement and anchor bolts.		X	
c. Placement of reinforcement.	X		
d. Proportions of site-prepared grout.		X	
e. Construction of mortar joints.		X	
6. Verify during construction:			
a. Size and location of structural elements.		X	
b. Type, size and location of anchors, including other details of anchorage of masonry to structural members, frames or other construction.	X		
c. Welding of reinforcement (if permitted).	X		
d. Preparation, construction and protection of masonry during cold weather (temperature below 40°F) or hot weather (temperature above 90°F).		X	
e. Placement of grout.	X		
7. Preparation of any required grout specimens and/or prisms shall be observed.	X		

WIND-RESISTING COMPONENTS			
SPECIAL INSPECTION ITEM	TYPE OF INSPECTION		REMARKS
	CONTINUOUS	PERIODIC	
1. Roof covering, roof deck and roof framing connections.		X	
2. Exterior wall covering and wall connections to roof and floor diaphragms and framing.		X	

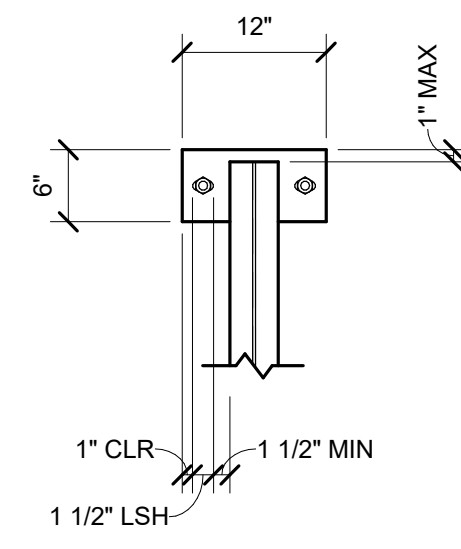
GENERAL STORM SHELTER NOTES:

- STORM SHELTER DESIGN CONFORMS TO THE PROVISIONS OF THE ICC/NSSA STANDARD FOR DESIGN AND CONSTRUCTION OF STORM SHELTERS - ICC 500, 2014.
  - TYPE OF STORM SHELTER: COMMUNITY TORNADO ONLY.
  - USE OF COMMUNITY STORM SHELTER: BUILDING OCCUPANTS ONLY.
  - SHELTER DESIGN WIND SPEED  $V_f = 250$  MPH
  - WIND EXPOSURE CATEGORY C
  - INTERNAL PRESSURE COEFFICIENT  $GCF = +/- 0.55$
  - TOPOGRAPHIC FACTOR  $Kzt = 1.0$
  - DIRECTIONAL FACTOR  $Kd = 1.0$
  - DEBRIS IMPACT CRITERIA:
    - MISSILE SIZE 15 LB 2x4
    - MISSILE SPEEDS AT HORIZONTAL SURFACES 67 MPH
    - MISSILE SPEEDS AT VERTICAL SURFACES 100 MPH
  - FOR ALL DOORS, WINDOWS, LOUVERS, AND OTHER COMPONENTS PENETRATING OR CONNECTING TO THE STORM SHELTER, CONTRACTOR SHALL DESIGN THESE ELEMENTS OR PROVIDE QUALIFIED IMPACT TESTING RESULTS. ADDITIONALLY, THE CONTRACTOR SHALL INCLUDE THE DESIGN OF ALL CONNECTIONS OF THESE ELEMENTS TO THE SUPPORTING STRUCTURE. ALL DESIGNS SHALL REFLECT STORM SHELTER LOADING AND IMPACT REQUIREMENTS AND FOLLOW THE STORM SHELTER DESIGN GUIDELINES PER ICC-500, 2014.
  - IN ADDITION TO THOSE ITEMS LISTED ON SHEET S002, CONTINUOUS SPECIAL INSPECTIONS SHALL OCCUR AT ALL ELEMENTS OF THE STORM SHELTER PER INSPECTION TABLES S003 & S005 AND INCLUDING BUT NOT LIMITED TO:
    - ALL CONNECTIONS OF STRUCTURAL MEMBERS
    - ALL DOOR, WINDOW, AND OTHER HARDWARE CONNECTIONS
    - ALL PLACEMENT OF REINFORCING STEEL IN CONCRETE
    - ALL WELDING
  - SPECIAL INSPECTOR SHALL PROVIDE WRITTEN REPORTS DETAILING PLACEMENT OF EACH ITEM. CONTRACTOR SHALL COORDINATE AND SCHEDULE WITH EOR FOR STRUCTURAL FIELD OBSERVATIONS TO OCCUR AT SIGNIFICANT STAGES OF CONSTRUCTION, SPECIFICALLY DURING:
    - CONSTRUCTION OF FOUNDATIONS: DURING PLACEMENT OF REINFORCEMENT AND CONCRETE.
- NOTE: STRUCTURAL FIELD OBSERVATIONS DO NOT REPLACE THE REQUIREMENTS OF SPECIAL INSPECTIONS.
- STORM SHELTER LID DESIGN LOADS:
    - DEAD 85 PSF
    - LIVE 250 PSF
    - LIVE ROOF 100 PSF (ICC 500, MIN)
    - WIND 5/S006

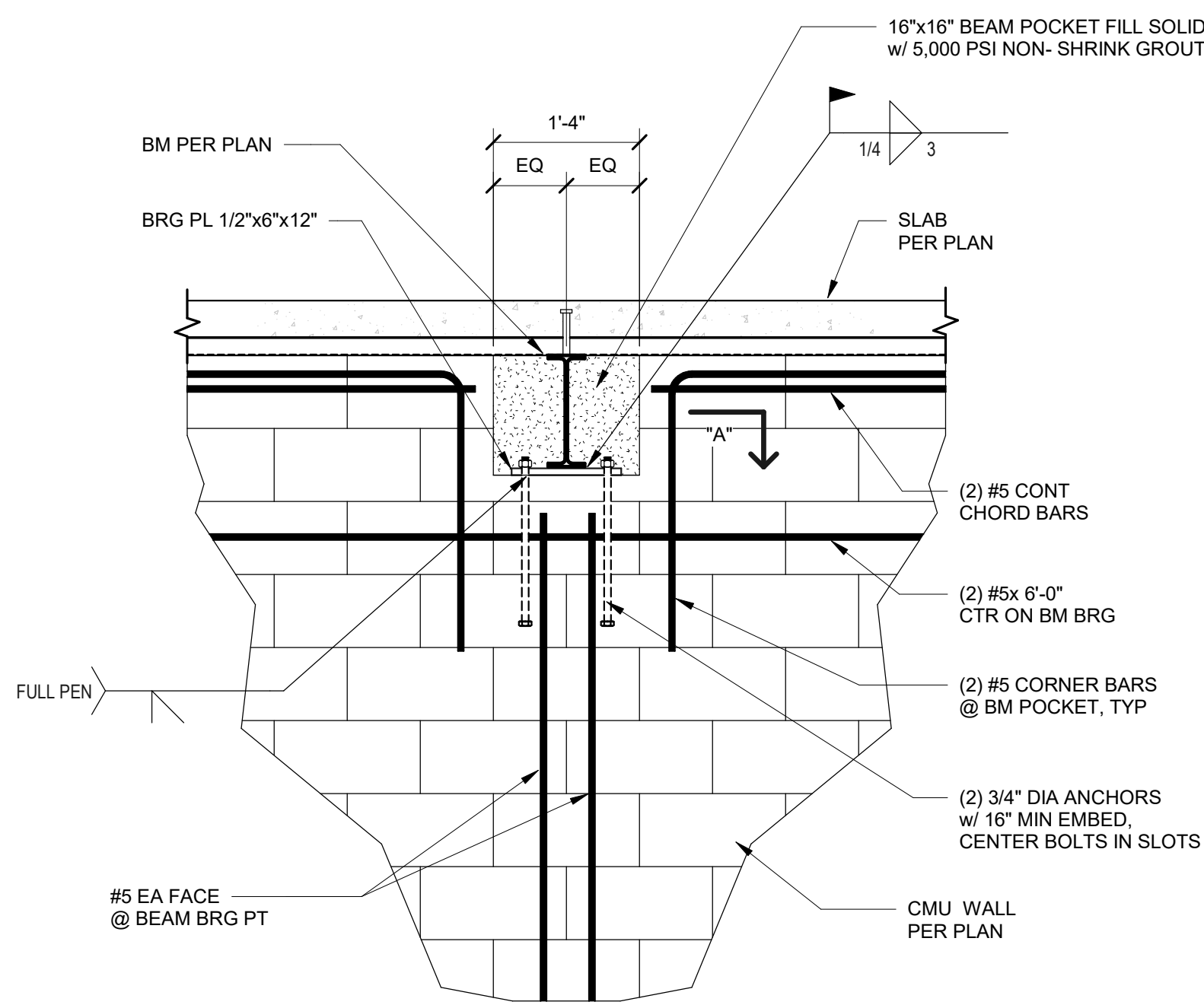


- NOTES:
- BOND BEAMS TO BE LOCATED AT TOPS OF WALLS & LOCATIONS AS INDICATED IN SECTIONS & DETAILS.
  - PROVIDE CORNER BARS AT CORNERS AND INTERSECTIONS OF WALLS. CORNER BARS SHALL ACHIEVE LAP SPICES NOTED IN GENERAL NOTES.
  - EXTEND BOND BEAM AROUND CORNERS WHERE REQUIRED TO ACCOMMODATE CORNER BARS.

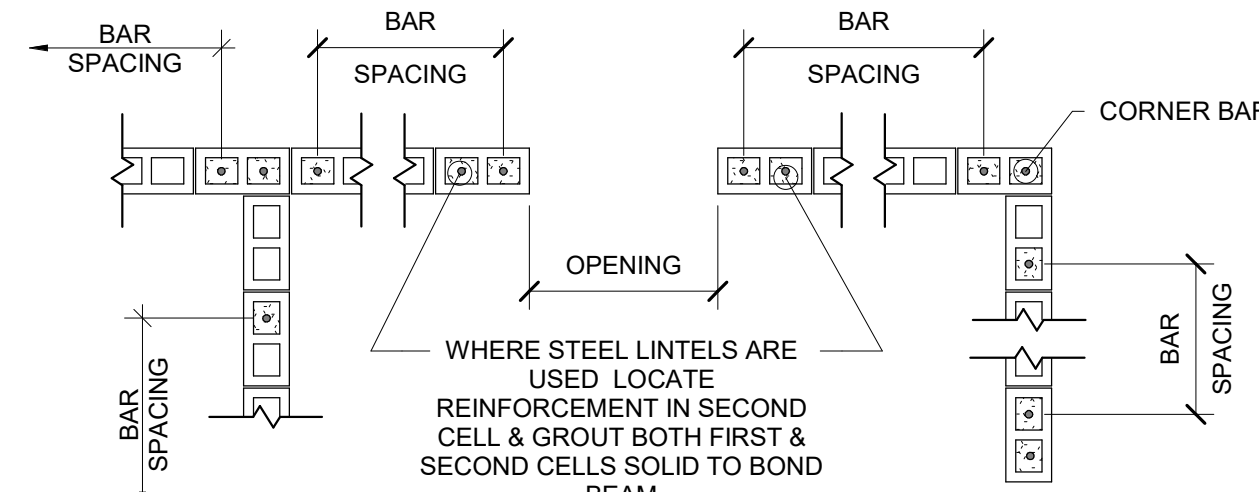
3 TYPICAL CMU BOND BEAM DETAIL  
S006 NTS



SECTION 'A'



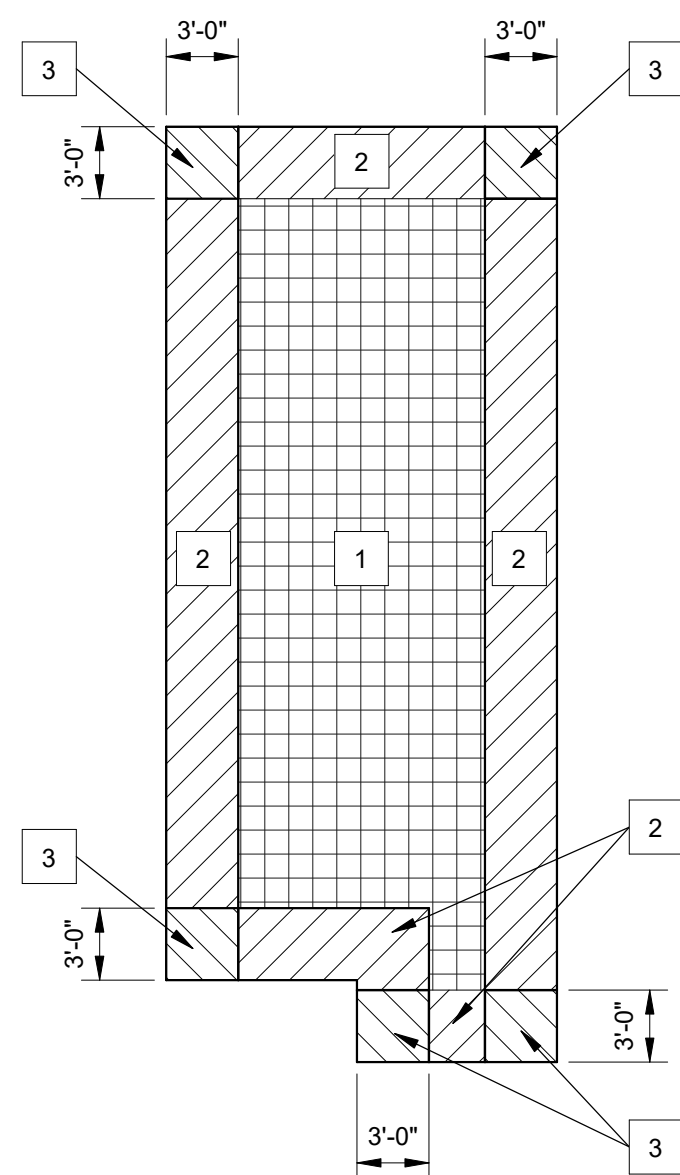
2 TYPICAL BEAM BEARING WALL POCKET  
S006 NTS



AT INTERSECTION AT CORNER END

NOTE: SEE PLAN AND DETAILS FOR REINFORCEMENT

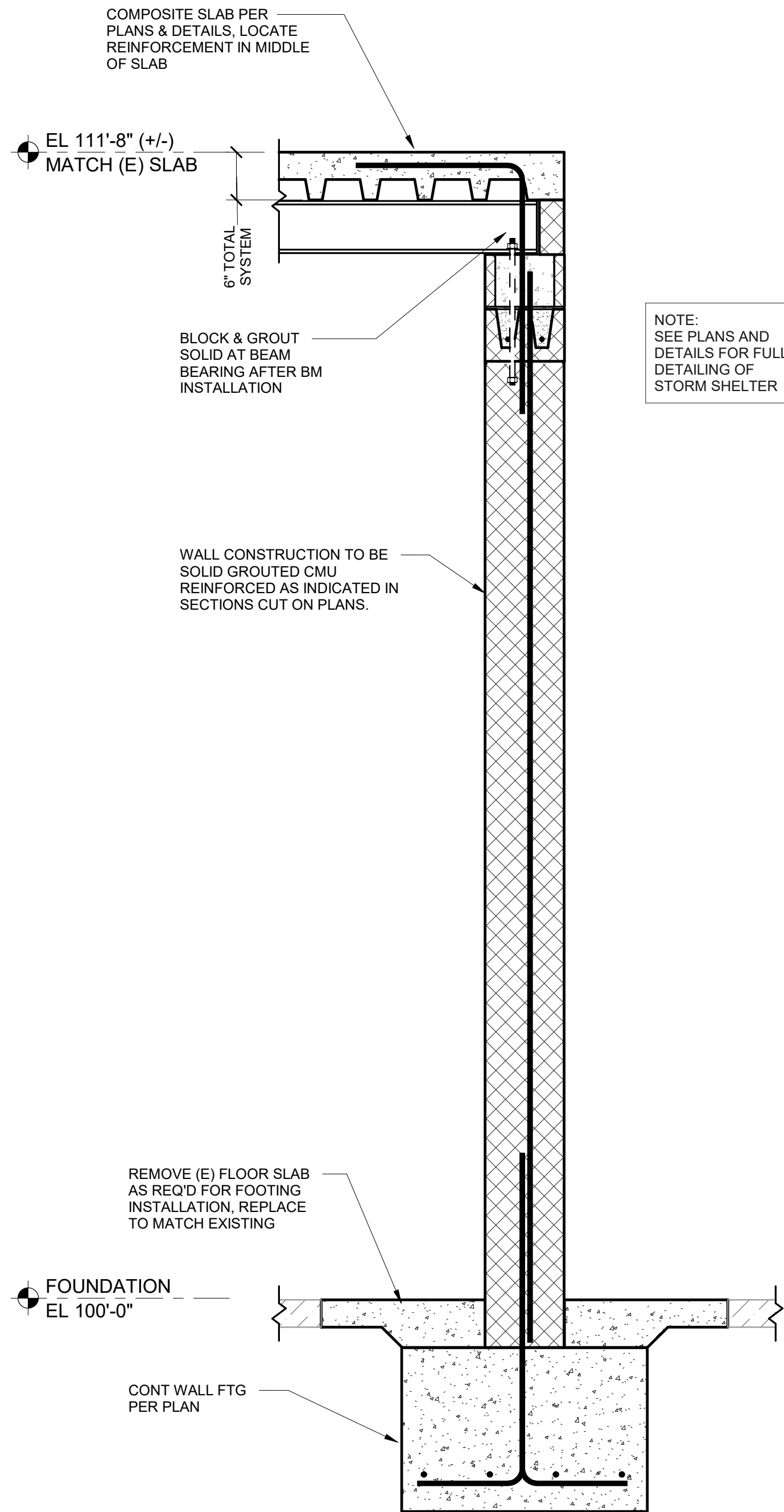
1 TYPICAL CMU WALL REINFORCEMENT DETAILS  
S006 3/4" = 1'-0"



5 STORM SHELTER LOADING DIAGRAM  
S006 1/8" = 1'-0"

STORM SHELTER COMPONENTS AND CLADDING WIND PRESSURES		
ZONE	W- (PSF)	W+ (PSF)
1	-210	115
2	-320	115
3	-455	115

- NOTES:
- + INDICATES FORCE ACTING TOWARDS STRUCTURE.
  - INDICATES FORCE ACTING AWAY FROM STRUCTURE.
  - ALL LOADS ARE ULTIMATE LEVEL. C&C WIND LOADS BASED ON AN EFFECTIVE AREA OF 10 SF.



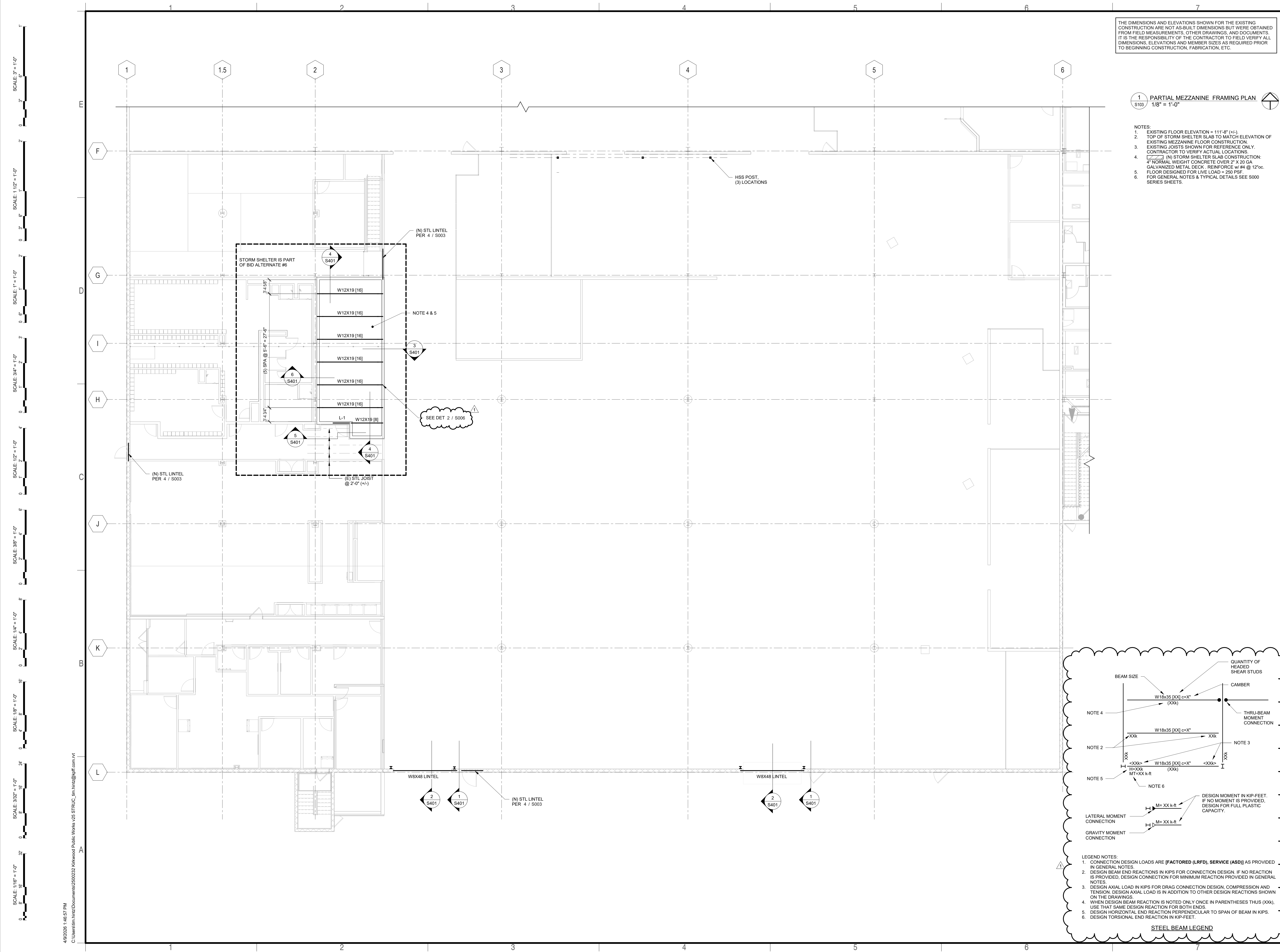
4 DEBRIS LOAD ON STORM SHELTER MASONRY WALL SECTION  
S006 3/4" = 1'-0"

No.	Date	Revision
1	03/30/2026	ISSUED FOR CONSTRUCTION
2	04/10/2026	ADDENDUM #1









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Proposed: KIRKWOOD PUBLIC WORKS RENOVATION

545 LEFFINGWELL AVE.  
Kirkwood, MO

No.	Date	Issued For Construction	Revision
1	03/30/2026	ADDENDUM #1	

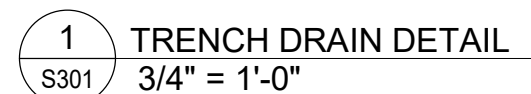
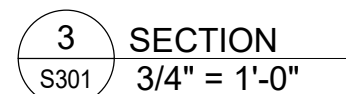
Project No. 2500232

Sheet No. S103

Date 03/30/2026

PARTIAL MEZZANINE FRAMING PLAN





THE DIMENSIONS AND ELEVATIONS SHOWN FOR THE EXISTING CONSTRUCTION ARE NOT AS-BUILT DIMENSIONS BUT WERE OBTAINED FROM FIELD MEASUREMENTS, OTHER DRAWINGS, AND DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS, ELEVATIONS AND MEMBER SIZES AS REQUIRED PRIOR TO BEGINNING CONSTRUCTION, FABRICATION, ETC.



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Expires: 12/31/2026

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ON 10/10/10

Proposed: **KIRKWOOD PUBLIC WORKS  
RENOVATION**

545 E. COMMERCIAL AVE.

[illegible]Project No.  
2500232

Sheet No.

# S30-

Date  
03/30/2026

## SECTIONS AND DETAILS

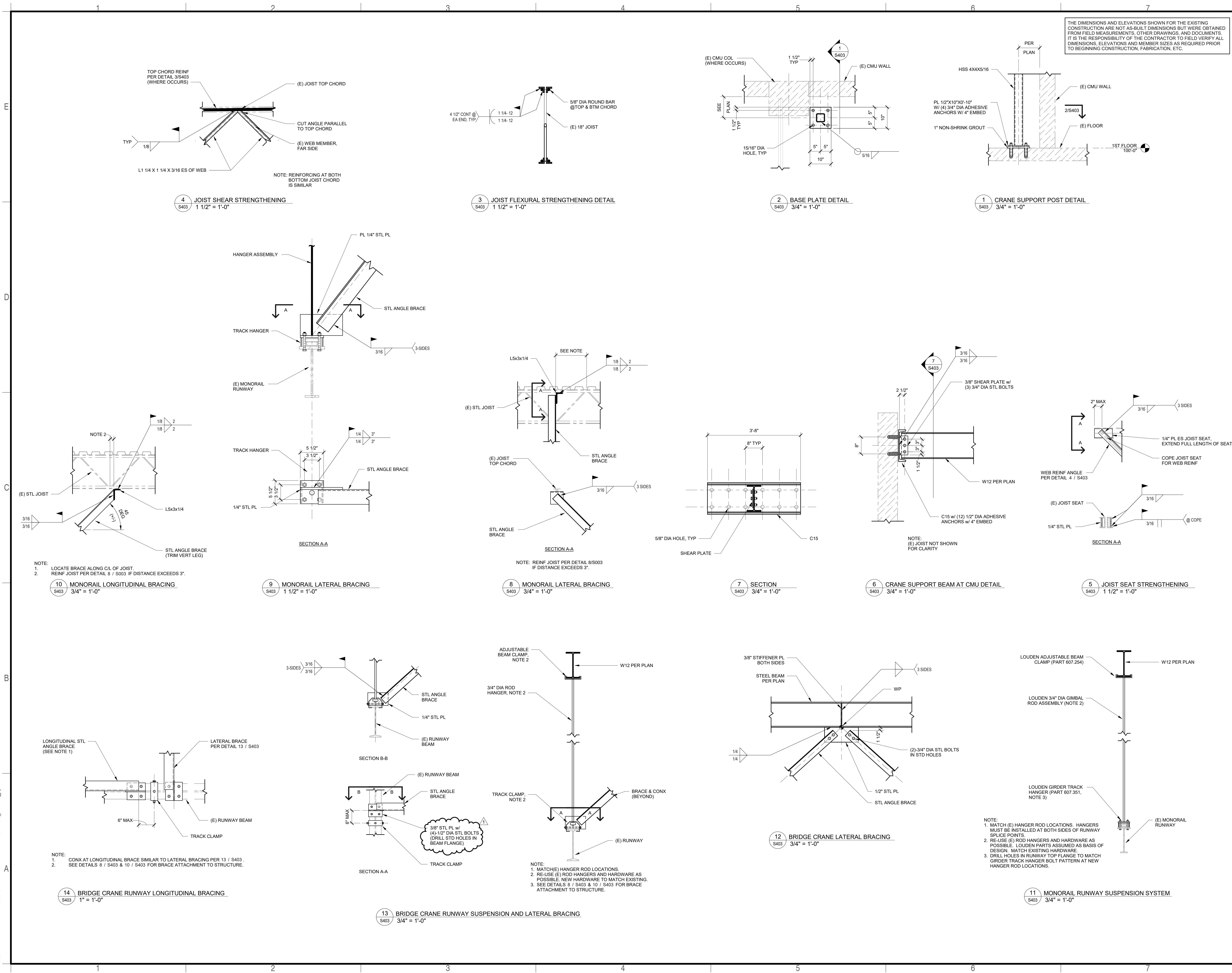












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04/09/2026

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Kirkwood, MO  
545 LEFFINGWELL AVE.

Proposed: KIRKWOOD PUBLIC WORKS RENOVATION

No.	Date	Revision
1	03/30/2026	ISSUED FOR CONSTRUCTION
2	04/10/2026	ADDENDUM #1

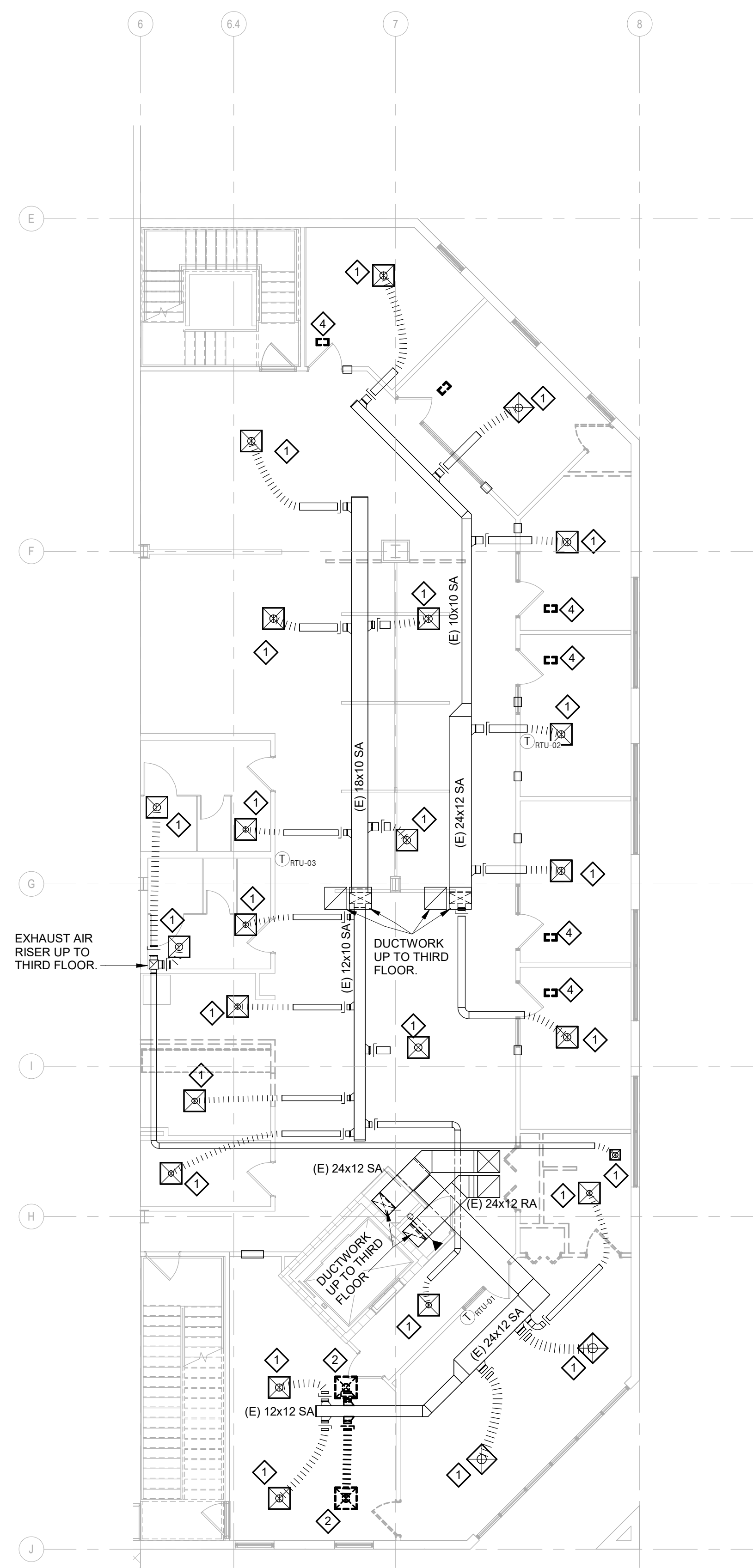
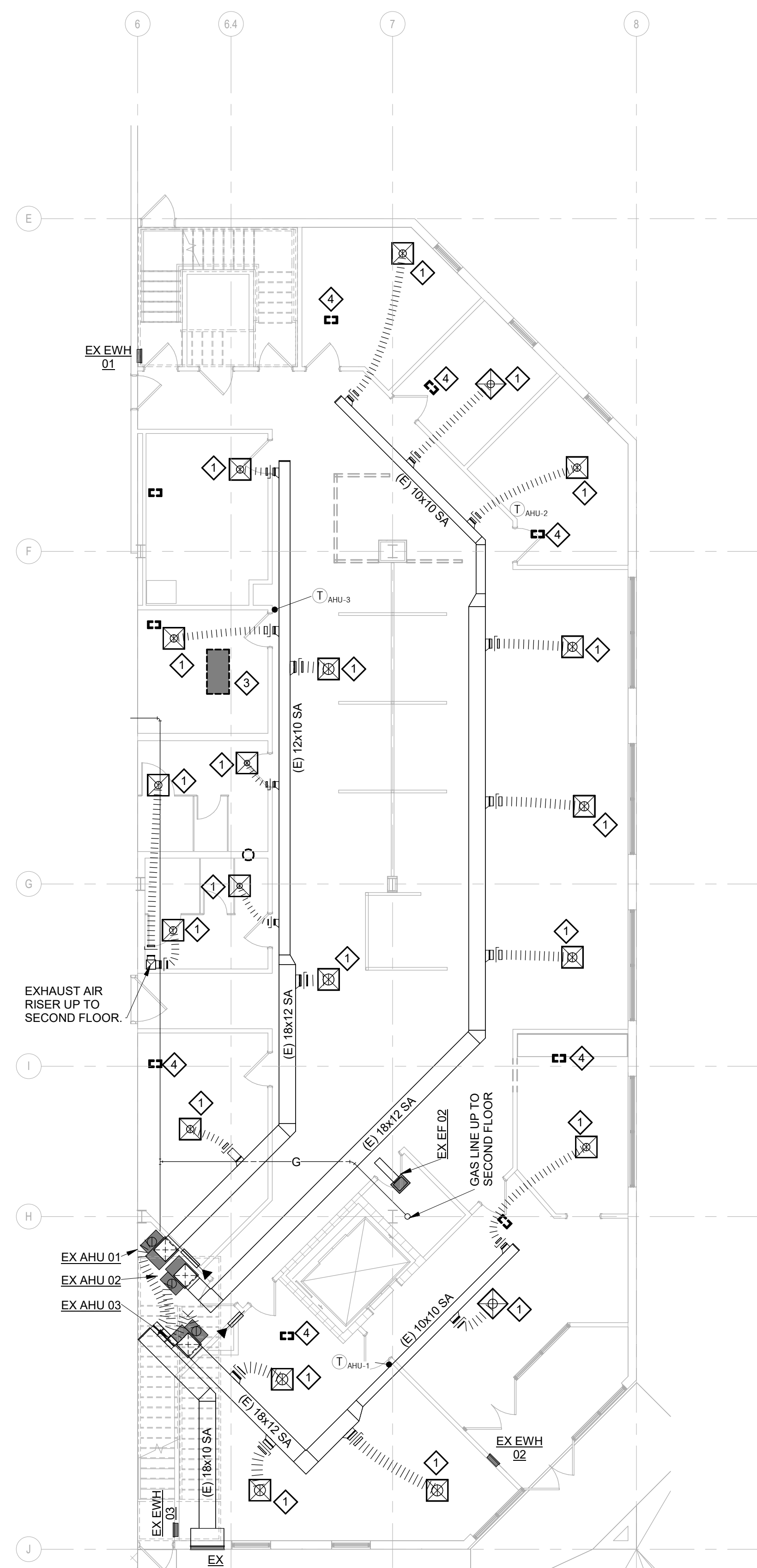
Project No. 2500232  
Sheet No. S403  
Date 03/30/2026

SECTIONS AND DETAILS





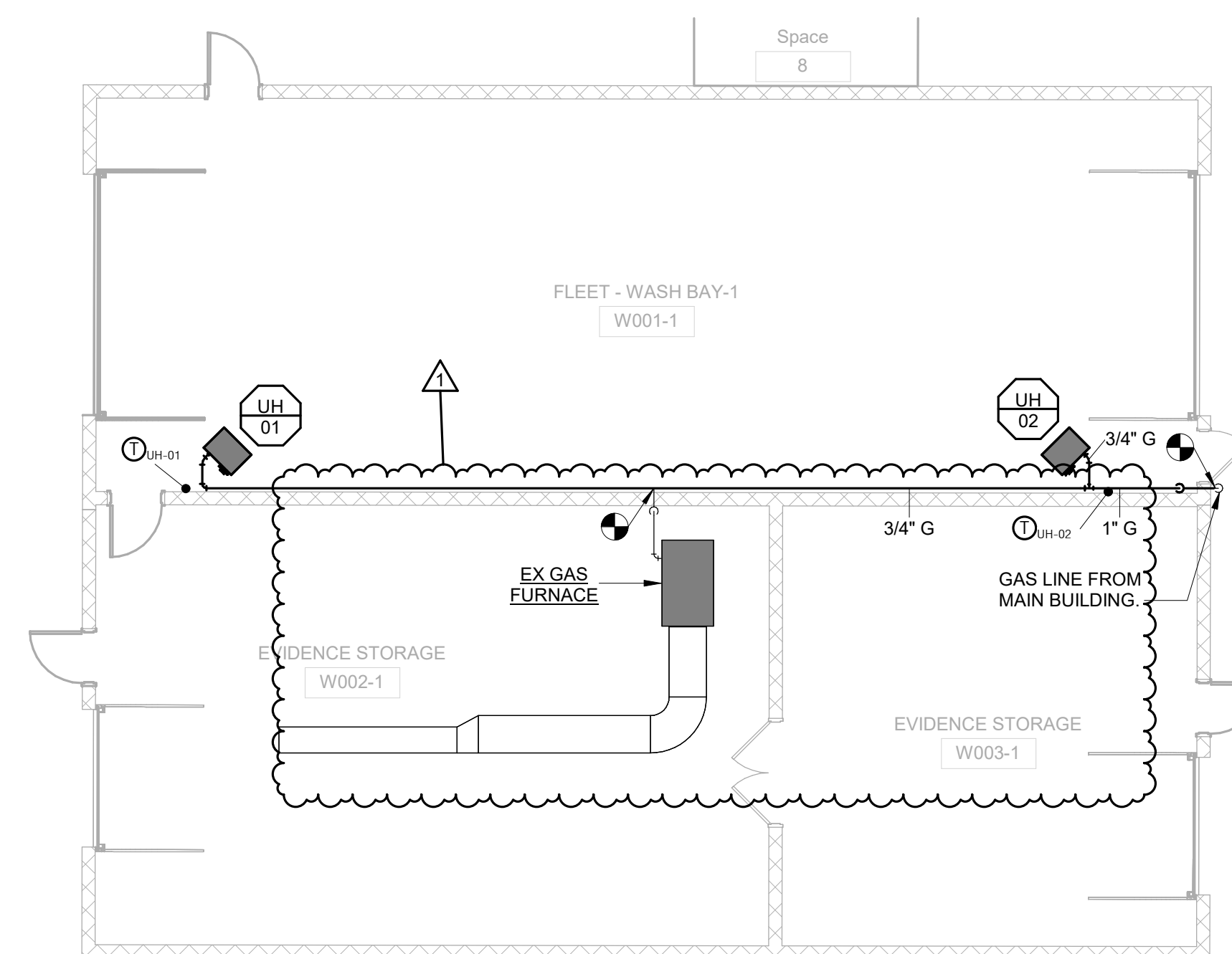
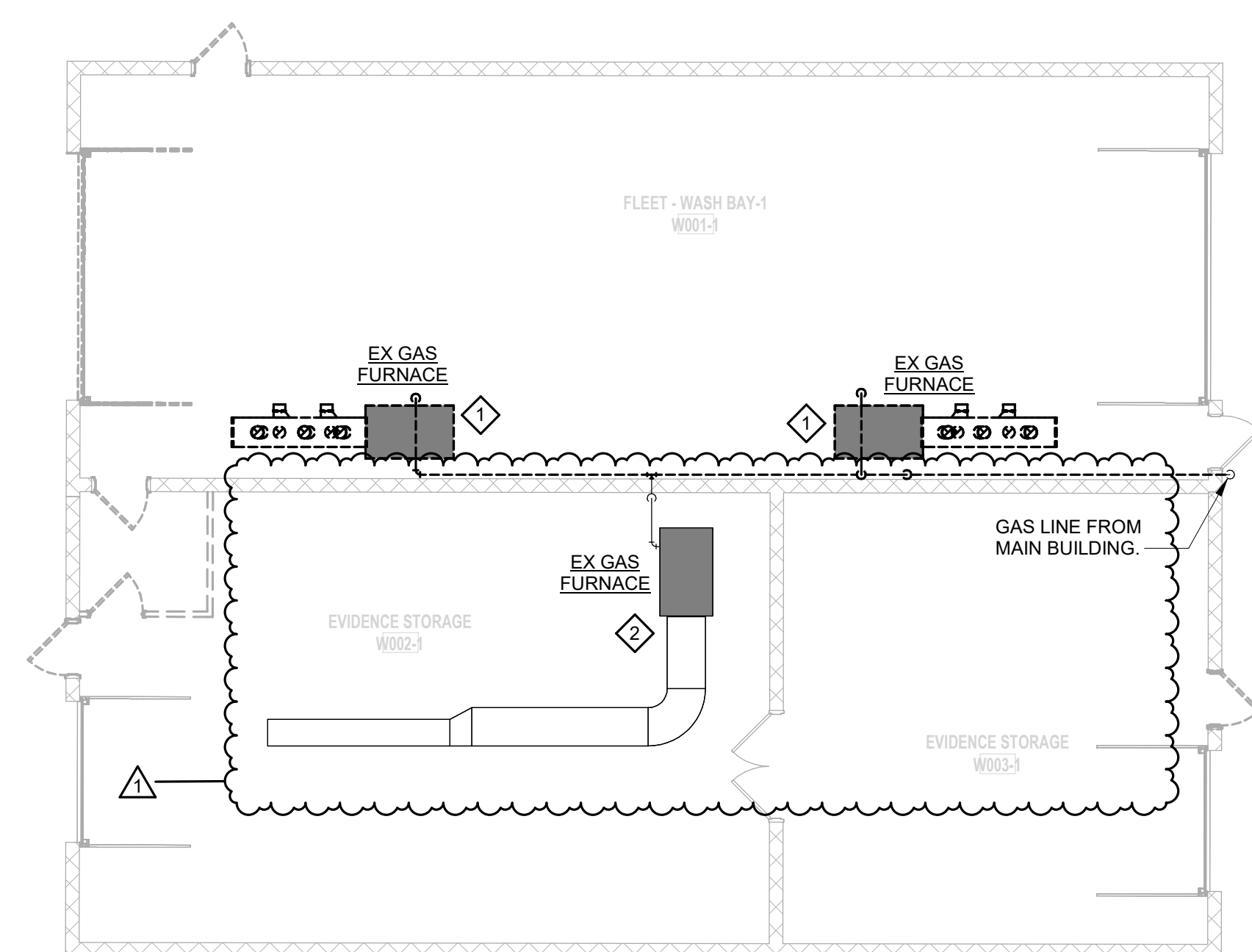




- M102 DEMO KEYED NOTES**

  - 1 REMOVE AIR DEVICE FROM EXISTING CEILING AND PREPARE FOR RELOCATION AND REBALANCING.
  - 2 REMOVE EXISTING AIR DEVICE, ASSOCIATED FLEXIBLE DUCTWORK AND BRANCH DUCT BACK TO MAIN. PATCH MAIN AIR TIGHT, PATCH INSULATION TO MATCH EXISTING.
  - 3 DEMOLISH EXISTING SPLIT SYSTEM AND RELATED PIPING.
  - 4 DEMOLISH EXISTING RETURN AIR DEVICE. TYPICAL.





2 PARTIAL MECHANICAL NEW WORK PLAN - WASH BAY

[illegible]

1

1

No

Project No.  
24059

Sheet No.

# M106

03/27/2026

Name: Richard W. Haltema  
Discipline: Professional Engineer  
License No: PE-2511  
Expiration Date: 12/31/2024

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MO Architect  
Expires: 12/31

MO Architect License No: A-666  
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[Concepts]

# Proposed: KIRKWOOD PUBLIC WORKS RENOVATION

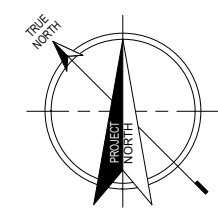
545 | EFFINGWELL AVE







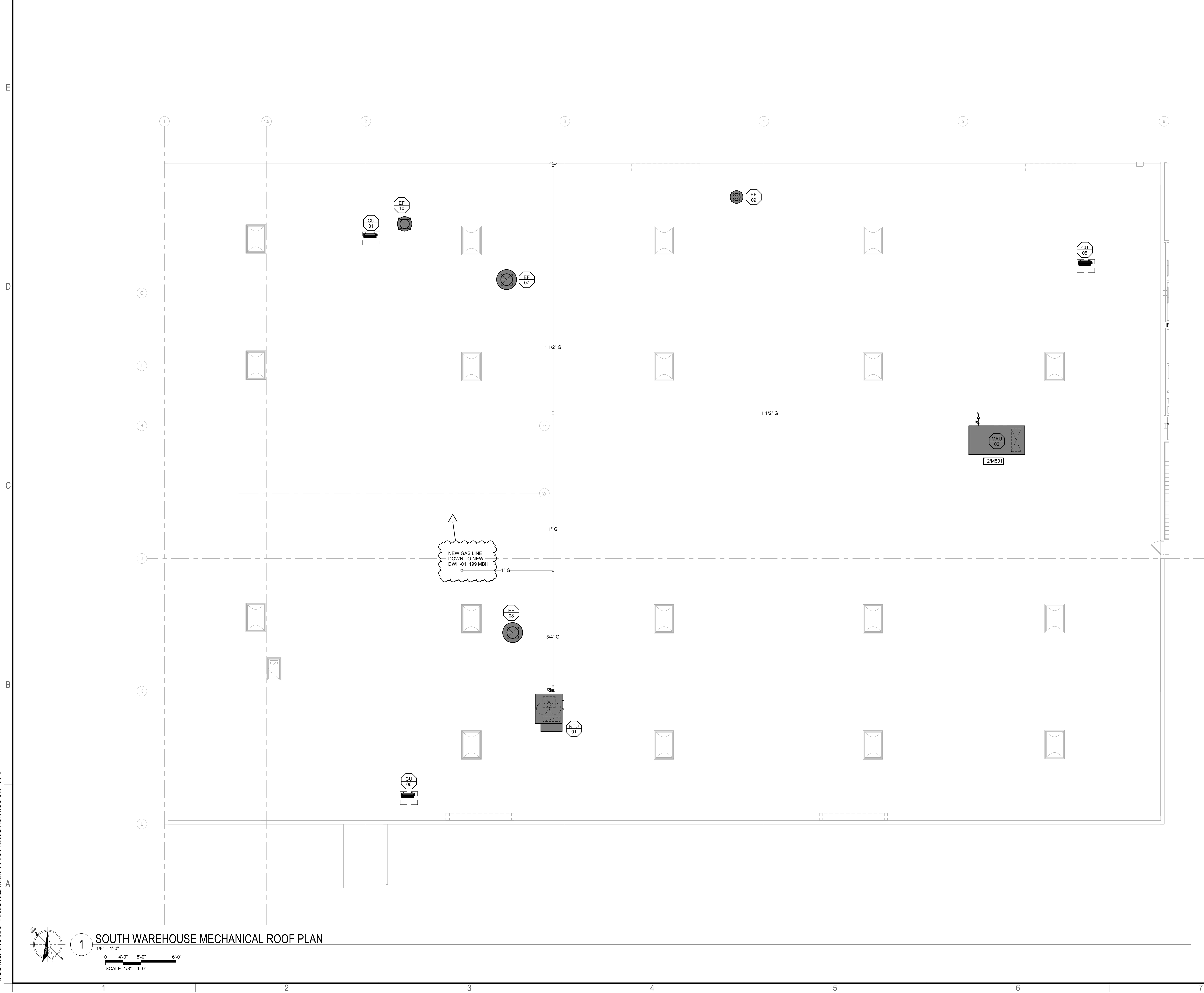
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1

# SOUTH WAREHOUSE MECHANICAL ROOF PLAN

1/8" = 1'-0"  
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



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Discipline: Professional Engineer  
License No: PE-25112  
Expiration Date: 12/31/2026

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No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059

Sheet No.  
**M206**

Date  
03/27/2026

Proposed:

**KIRKWOOD PUBLIC WORKS**  
**RENOVATION**

545 LEFFINGWELL AVE.

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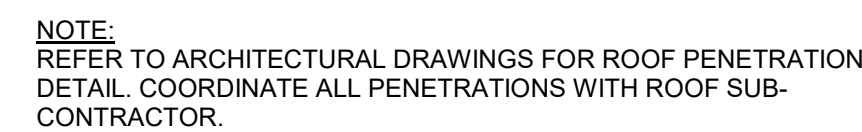
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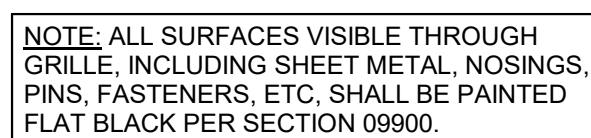
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N.T.S.



N.T.S.



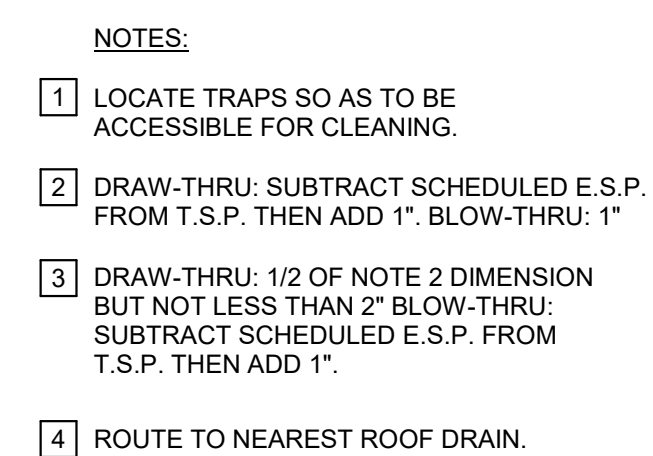
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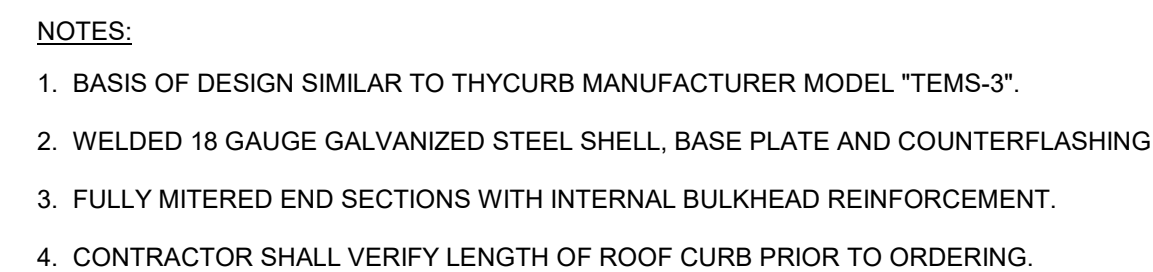
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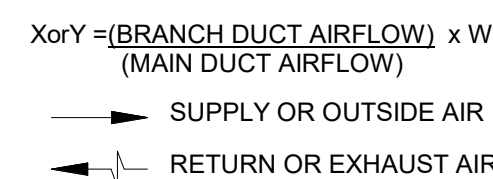
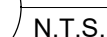
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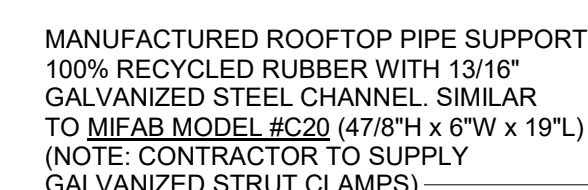
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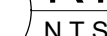
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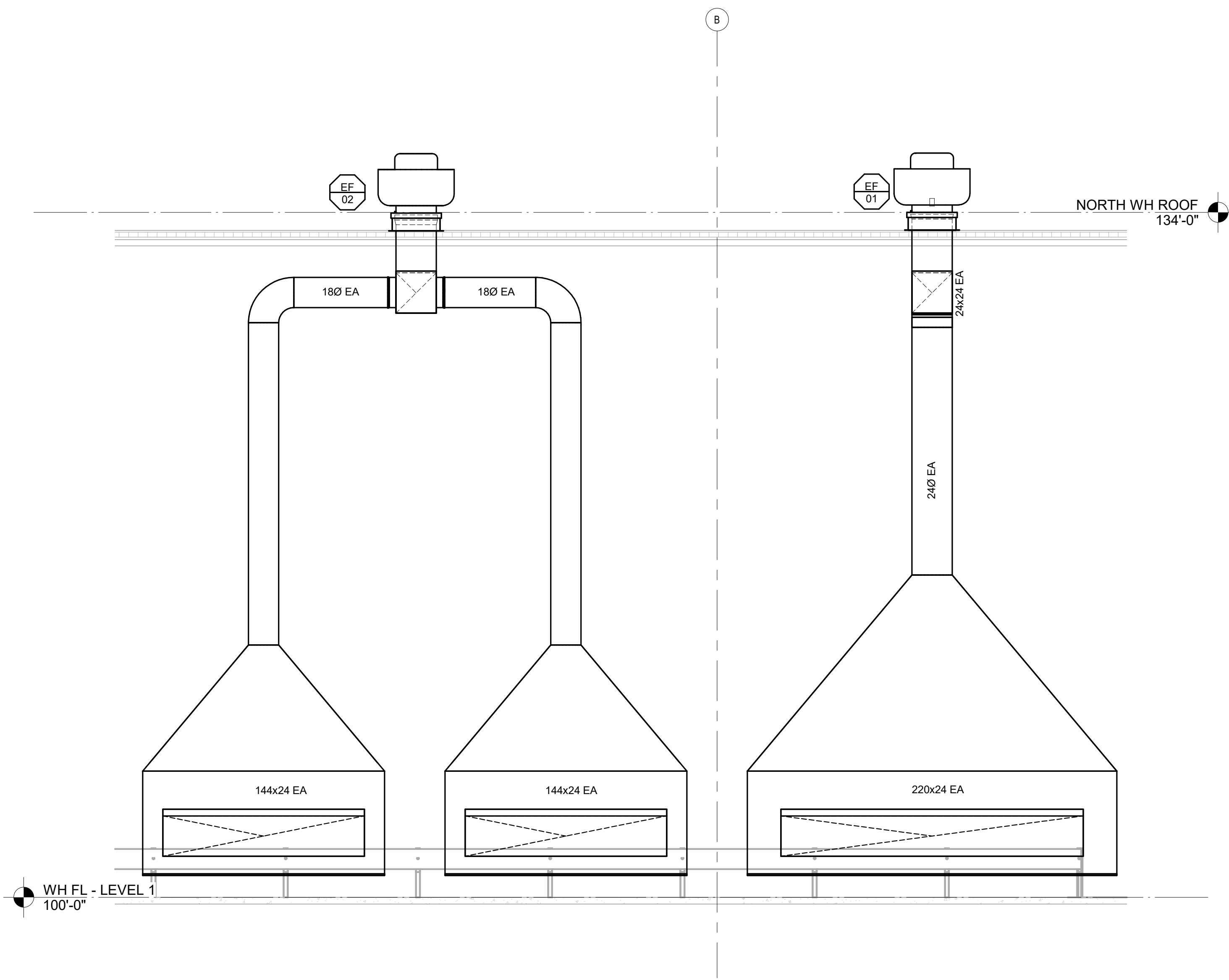
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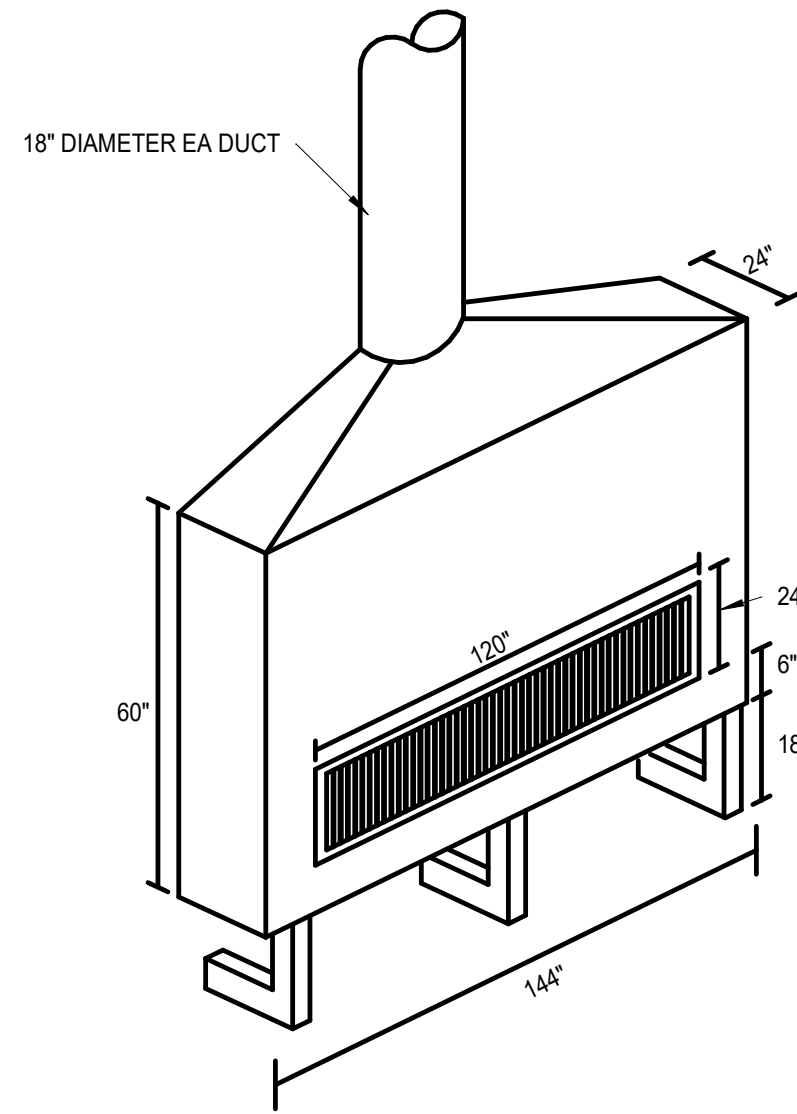
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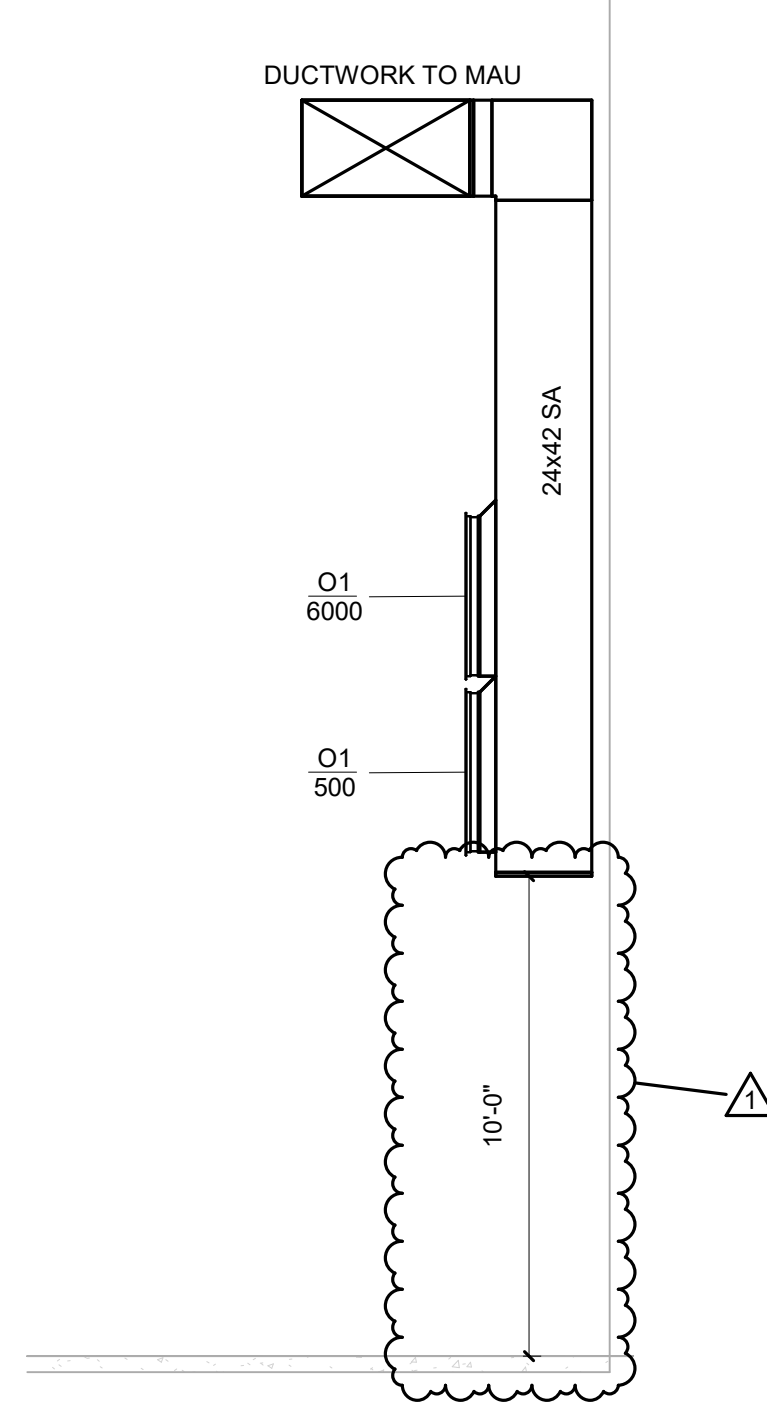




1 SANITATION DEPARTMENT EXHAUST HOOD SECTION  
1/4" = 1'-0"



2 EXHAUST HOOD DETAIL  
N.T.S.



3 MAKE-UP AIR DUCTWORK SECTION  
1/4" = 1'-0"

Name: Richard W. Halteman  
Discipline: Professional Engineer  
License No: PE-25112  
Expiration Date: 12/31/2026

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No. 1  
Date: 04/10/2026  
ADDENDUM #1

Revision

Proposed:

KIRKWOOD PUBLIC WORKS  
RENOVATION

545 LEFFINGWELL AVE.

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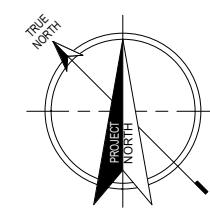
MECH DETAILS

Project No.  
24059

Sheet No.  
M502

Date  
03/27/2026

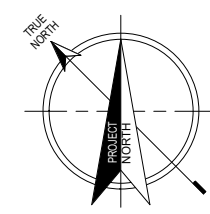




1

PARTIAL FIRE PROTECTION DEMO PLAN - FIRST FLOOR OFFICE

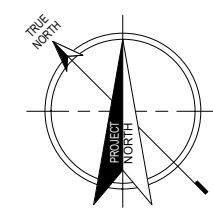
1/8" = 1'-0" 0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



2

PARTIAL FIRE PROTECTION DEMO PLAN - SECOND FLOOR OFFICE

1/8" = 1'-0" 0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



3

PARTIAL FIRE PROTECTION DEMO PLAN - THIRD FLOOR OFFICE

1/8" = 1'-0" 0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

FP103 SHEET KEYED NOTES

- 1 THE CONTRACTOR SHALL REMOVE ALL SPRINKLERS AND ARM-OVERS IN THE INDICATED AREA. PREPARE PIPING FOR EXTENSION TO NEW SPRINKLER HEADS IN NEW CEILING LAYOUT.
- 2 THE CONTRACTOR SHALL REMOVE ALL UPRIGHT SPRINKLER AND SPRIGS IN THE INDICATED AREA. PREPARE PIPING FOR EXTENSION TO NEW SPRINKLER HEADS IN NEW CEILING LAYOUT. THIS WORK SHALL BE PART OF ALTERNATE BID PACKAGE #1A.

Roy A. Marston

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Proposed: **KIRKWOOD PUBLIC WORKS**  
**RENOVATION**  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059

Sheet No.  
**FP103**

Date  
03/27/2026

Name: Richard W. Halteman  
Discipline: Professional Engineer  
License No: PE-25112  
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FP DEMO PLANS - OFFICE



FP203 SHEET KEYED NOTES

- 1 TYPE A HEADS TO BE INSTALLED.
- 2 TYPE B HEADS TO BE INSTALLED.
- 3 TYPE C HEADS TO BE INSTALLED.
- 4 EXISTING ELEVATOR TO REMAIN.
- 5 INACCESSIBLE SPACE.
- 6 ALL WORK ON LEVEL 3 SHALL BE PRICED AS ADD ALTERNATE #1A.

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Proposed: KIRKWOOD PUBLIC WORKS  
RENOVATION  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/12/2026	ADDENDA #1

Project No.  
24059

Sheet No.  
FP203

Date  
03/27/2026

Name: Richard W. Halteman  
License No: PE-25112  
Expiration Date: 12/31/2026

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1 PARTIAL FIRE PROTECTION PLAN - FIRST FLOOR OFFICE

1/8" = 1'-0" 0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

2 PARTIAL FIRE PROTECTION PLAN - SECOND FLOOR OFFICE

1/8" = 1'-0" 0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

3 PARTIAL FIRE PROTECTION PLAN - THIRD FLOOR OFFICE

1/8" = 1'-0" 0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



## ELECTRICAL LEGEND

NOT ALL SYMBOLS AND ABBREVIATIONS ARE USED

### LIGHT FIXTURES:

Ab	A = FIXTURE TYPE b = SWITCH LEG
EL - 1	LIGHT FIXTURE EL = PANEL 1 = CIRCUIT NUMBER
	2x4 LIGHT FIXTURE
	2x4 LIGHT - EMERGENCY
	2x4 LIGHT - EMERGENCY UNSWITCHED NIGHTLIGHT
	2x2 LIGHT FIXTURE
	2x2 LIGHT - EMERGENCY
	2x2 LIGHT - EMERGENCY UNSWITCHED NIGHTLIGHT
	CIRCLE DOWNLIGHT FIXTURE
	CIRCLE DOWNLIGHT - EMERGENCY
	CIRCLE DOWNLIGHT - EMERGENCY UNSWITCHED NIGHTLIGHT
	CIRCLE DOWNLIGHT - WALL WASH FIXTURE
	SQUARE DOWNLIGHT FIXTURE
	SQUARE DOWNLIGHT - EMERGENCY
	SQUARE DOWNLIGHT - EMERGENCY UNSWITCHED NIGHTLIGHT
	SQUARE DOWNLIGHT - WALL WASH FIXTURE
	INDUSTRIAL STRIP LIGHT FIXTURE
	EXTERIOR FLOOD LIGHT
	POLE LIGHT FIXTURE
	BOLLARD
	BOLLARD - EMERGENCY
	EXIT SIGN - CEILING MOUNTED (WITH DIRECTIONAL ARROW) (SHADE INDICATES # OF FACES)
	EXIT SIGN - WALL MOUNTED (WITH DIRECTIONAL ARROW) (SHADE INDICATES # OF FACES)
	EMERGENCY LIGHT PACK WITH BATTERY (96" A.F.F.)
	SCONCE
	WALL PACK - EXTERIOR
	TRACK LIGHTING
	CEILING FAN

### LIGHTING CONTROLS:

	DAYLIGHT HARVEST SENSOR
	PHOTOCELL
	CEILING OCCUPANCY SENSOR VS = VACANCY SENSOR OC = OCCUPANCY SENSOR
	CEILING OCCUPANCY SENSOR MULTI DIRECTION
	TOGGLE SWITCH SINGLE POLE a = SWITCH LEG (LOWER CASE LETTERS)
	TOGGLE SWITCH THREE WAY
	TOGGLE SWITCH FOUR WAY
	DIMMER SWITCH
	KEY OPERATED SWITCH
	SWITCH WITH PILOT LIGHT ON WHEN SWITCH IS ON
	TIMER SWITCH
	WEATHERPROOF SINGLE POLE SWITCH
	OCCUPANCY SENSOR WALL MOUNTED WITH OFF-AUTO OVERRIDE SWITCH
	VACANCY SENSOR WALL MOUNTED
	LOW VOLTAGE SWITCH (48" A.F.F.)

### ABBREVIATIONS:

A.F.F.	ABOVE FINISH FLOOR
C	CONDUIT
c	6" ABOVE COUNTER BACKSPLASH
u	USB OUTLET
GFI	GROUND FAULT INTERRUPTER
WP	WEATHERPROOF
GRS	GALVANIZED RIGID STEEL
EMT	ELECTRICAL METAL TUBING
AC	ALTERNATING CURRENT
MC	METAL CLAD CABLE
PVC	POLYVINYL CHLORIDE CONDUIT
IG	ISOLATED GROUND
E	EXISTING TO REMAIN

### CONDUIT:

	CONDUIT EXPOSED
	CONDUIT CONCEALED IN FLOOR, BELOW SLAB OR BELOW GRADE
	CONDUIT CONCEALED IN WALL OR CEILING
	TELEPHONE CONDUIT
	TELEVISION CONDUIT
	CONDUIT DOWN
	CONDUIT UP
	CONDUIT SLEEVE INSULATED BUSHING EACH END
	WIRE IN CONDUIT LEFT TO RIGHT 1 GROUND, 1 NEUTRAL, 3 HOTS
	HOME RUN A = PANEL A 1.3 = CIRCUITS 1,3
	CABLE TRAY
	FEEDER A
	GROUND JACK
	PULL BOX
	HAND HOLE

### ELECTRICAL DEVICES:

	SIMPLEX RECEPTACLE (18" A.F.F.)
	DUPLEX RECEPTACLE (18" A.F.F.)
	GFI DUPLEX RECEPTACLE (18" A.F.F.)
	QUADPLEX RECEPTACLE (18" A.F.F.)
	GFI QUADPLEX RECEPTACLE (18" A.F.F.)
	EMERGENCY RECEPTACLE (18" A.F.F.)
	COUNTERTOP RECEPTACLE (6" ABOVE COUNTER)
	TAMPER RESISTANT RECEPTACLE (18" A.F.F.)
	FLOOR RECEPTACLE (18" A.F.F.)
	SPECIAL PURPOSE RECEPTACLE (18" A.F.F.)
	SPECIAL PURPOSE FLOOR RECEPTACLE
	JUNCTION BOX
	JUNCTION BOX IN FLOOR
	SURFACE RACEWAY DUPLEX OUTLET 3' ON CENTER
	POWER POLE
	POWER SUPPLY
	POWER WHIP

### SECURITY DEVICES:

	ACCESS CONTROL HEAD-END
	AREA OF RESCUE ANNUNCIATOR
	AREA OF RESCUE ASSISTANCE CALL STATION
	CAMERA
	CARD READER
	CCTV HEAD-END
	CCTV MONITOR
	DOOR CONTACT
	ELECTRIC DOOR STRIKE
	GLASS BREAK DETECTOR - WALL MOUNTED
	GLASS BREAK DETECTOR - CEILING MOUNTED
	KEYPAD
	MAGNETIC LOCK
	MOTION DETECTOR - WALL MOUNTED
	MOTION DETECTOR - CEILING MOUNTED
	PROXIMITY READER ACCESS CONTROL

### DATA DEVICES:

	DATA OUTLET (18" A.F.F.) c = 6" ABOVE COUNTER BACKSPLASH 2 = NUMBER EQUALS TOTAL NUMBER OF PORTS EACH NEW DATA OUTLET SHALL HAVE TWO CABLES AND TWO JACKS UNLESS NOTED OTHERWISE
	DATA OUTLET IN FLOOR
	SURFACE RACEWAY DATA OUTLET 3' ON CENTER
	HDMI OUTLET (18" A.F.F.) UNO c = 6" ABOVE COUNTER BACKSPLASH 2 = NUMBER EQUALS TOTAL NUMBER OF PORTS W = MOUNT 48" A.F.F.
	HDMI OUTLET IN FLOOR
	TELEPHONE OUTLET (18" A.F.F.) c = 6" ABOVE COUNTER BACKSPLASH 2 = NUMBER EQUALS TOTAL NUMBER OF PORTS W = MOUNT 48" A.F.F.
	TELEPHONE OUTLET IN FLOOR
	TELEPHONE/DATA OUTLET (18" A.F.F.) c = 6" ABOVE COUNTER BACKSPLASH 2 = NUMBER EQUALS TOTAL NUMBER OF DATA PORTS 1 = NUMBER EQUALS TOTAL NUMBER OF PHONE PORTS
	TELEPHONE/DATA OUTLET IN FLOOR
	TELEVISION OUTLET (88" A.F.F.)
	WIRELESS ACCESS POINT

### FIRE ALARM DEVICES:

	COMBINATION HORN STROBE FIRE ALARM - WALL MOUNTED (90" A.F.F. MINIMUM 6' BELOW CEILING) 110 = CANDELA RATING
	HORN FIRE ALARM - WALL MOUNTED (90" A.F.F.)
	BELL ALARM - WALL MOUNTED (1' BELOW CEILING) CH = CHIME G = GONG
	STROBE FIRE ALARM - WALL MOUNTED (90" A.F.F. MINIMUM 6' BELOW CEILING) 110 = CANDELA RATING
	COMBINATION HORN STROBE FIRE ALARM - CEILING MOUNTED 110 = CANDELA RATING
	HORN FIRE ALARM - CEILING MOUNTED 95 = CANDELA RATING
	FIRE ALARM CONTROL PANEL
	FIRE ALARM ANNUNCIATOR PANEL (60" A.F.F.)
	FIRE ALARM DIGITAL COMMUNICATOR
	DOOR HOLDER
	MANUAL PULL STATION (48" A.F.F.)
	DUCT DETECTOR
	DUCT DETECTOR SWITCH
	HEAT DETECTOR
	SMOKE DETECTOR
	FIRE SUPPRESSION ALARM
	FIREMANS TELEPHONE OUTLET
	FIRE ALARM FLOW SWITCH
	FIRE ALARM TAMPER SWITCH
	FIRE ALARM MONITOR MODULE
	FIRE ALARM CONTROL MODULE
	POST INDICATING VALVE
	NETWORK / CELL DIGITAL COMMUNICATOR
	CARBON MONOXIDE DETECTOR
	CARBON DIOXIDE DETECTOR
	GENERATOR ANNUNCIATOR

### ELECTRICAL EQUIPMENT:

	ELECTRIC METER
	GENERATOR
	PANELBOARD
	DISTRIBUTION PANELBOARD
	TRANSFORMER
	AUTOMATIC TRANSFER SWITCH
	MANUAL TRANSFER SWITCH
	UNINTERRUPTIBLE POWER SOURCE
	MULTIMETER
	SURGE PROTECTOR DEVICE
	UTILITY POLE
	MOTOR WITH DESIGNATION
	MANUAL MOTOR STARTER
	DISCONNECT SWITCH
	COMBINATION STARTER
	MOTOR STARTER
	WEATHER HEAD
	SOLENOID VALVE
	VARIABLE SPEED DRIVE
	ANTENNA - TELEMETRY

#### ELECTRICAL EQUIPMENT IDENTIFICATION SCHEME:

FIRST CHARACTER - FLOOR OR BUILDING IDENTIFICATION  
1 - 1ST FLOOR  
2 - 2ND FLOOR  
3 - 3RD FLOOR  
R - ROOF  
RC - RECYCLING CENTER  
WB - WASH BAY

SECOND CHARACTER - EQUIPMENT TYPE  
SW - SWITCHBOARD  
DP - DISTRIBUTION PANELBOARD  
P - PANELBOARD

THIRD CHARACTER - VOLTAGE LEVEL  
L - 208Y/120V  
H - 480Y/277V

FOURTH CHARACTER - SYSTEM  
E - EMERGENCY  
L - LIGHTING  
P - POWER  
R - RECEPTACLE  
U - UPS

FIFTH CHARACTER - SEQUENTIAL  
1 - FIRST OF THIS TYPE  
2 - SECOND OF THIS TYPE  
3 - THIRD OF THIS TYPE

EXAMPLE: RCP-LP1 - RECYCLING CENTER PANELBOARD, 208Y/120V,  
POWER PANELBOARD, FIRST OF ITS TYPE

### GENERAL NOTES:

- ELECTRICAL INSTALLATION PER 2014 NATIONAL ELECTRICAL CODE.
- ALL ELECTRICAL EQUIPMENT SHALL BE UNNRTL LISTED.
- DETAILS SHOWN IN THESE DRAWINGS APPLY TO INSTALLATIONS INDICATED REGARDLESS AS TO IF THEY ARE SPECIFICALLY REFERENCED ELSE WHERE IN THE DRAWING SET. ANY QUESTIONS ON THEIR APPLICABILITY SHOULD BE SENT TO THE ENGINEER PRIOR TO BIDDING.
- CONTRACTOR SHALL VISIT JOB SITE PRIOR TO BIDDING AND VERIFY EXISTING CONDITIONS AND REQUIRED WORK TO ACCOMPLISH CONSTRUCTION AS DEPICTED IN DESIGN DRAWINGS.
- ON NEW WORK PLAN, ALL ITEMS SHOWN LIGHT ARE EXISTING TO REMAIN. ALL ITEMS SHOWN BOLD ARE NEW/RELOCATED.
- COORDINATE ELECTRICAL DEVICE INSTALLATIONS WITH FINAL ARCHITECTURAL PLANS AND ELEVATIONS.
- ALL RECEPTACLES, SWITCHES AND JUNCTION BOXES SHALL BE LABELED WITH PANEL NAME AND CIRCUIT NUMBER PER OWNER'S STANDARD.
- PROVIDE FIRE STOPPING AT ALL CONDUIT PENETRATIONS AND CONDUIT SLEEVES THROUGH EXISTING FLOOR SLABS AND FIRE RATED WALLS TO MAINTAIN REQUIRED FIRE RATING. USE UL LISTED METHODS AND MATERIALS.
- NOT ALL BRANCH CIRCUIT CONDUIT AND WIRE IS SHOWN. ONLY PANEL NAMES AND CIRCUIT NUMBERS ARE SHOWN ADJACENT TO DEVICES. THE REMAINING BRANCH CIRCUIT CONDUIT AND WIRES SHALL BE INSTALLED ACCORDING TO SPECIFICATIONS.
- ALL RECEPTACLES WITHIN 6 FT OF SINKS SHALL BE GFI TYPE.
- ALL DEVICES IN EXISTING WALLS SHALL HAVE WALLS FISHED FOR INSTALLATION OF DEVICE WHERE POSSIBLE. ALL DEVICES ON EXISTING CONCRETE OR BLOCK WALL SHALL BE SURFACE MOUNTED.
- ALL CONDUIT SHALL BE CONCEALED WHERE POSSIBLE.
- CONCEAL ALL LOW VOLTAGE CABLE, CONDUIT AND CONDUCTORS IN NEW WALLS WHERE POSSIBLE.

### DEMOLITION NOTES:

- REMOVE ITEMS INDICATED, INCLUDING LIGHT FIXTURES, SWITCHES, RECEPTACLES, EXPOSED CONDUIT, SURFACE AND FLUSH DEVICE BOXES, DEVICE PLATES, ETC. REMOVE ALL WIRING FROM EXISTING CONDUITS, CUT BACK CONDUIT FROM FINISHED SURFACE AND ABANDON ALL CONCEALED CONDUITS. REMOVE CONDUITS ABOVE GRID TYPE CEILINGS.
- MAINTAIN AND RESTORE, IF INTERRUPTED, ALL CONDUITS AND CONDUCTORS PASSING THROUGH RENOVATED AREAS AND SERVING UNDISTURBED AREAS. WHEREVER DEVICES OR LIGHT FIXTURES ARE INDICATED TO BE REMOVED, THE CONTRACTOR SHALL MAKE PROVISIONS TO INSURE CONTINUITY OF CIRCUITS REMAINING IN USE. THIS SHALL INCLUDE INSTALLING JUNCTION BOXES, EXTENDING CONDUIT AND WIRE OR OTHER METHODS TO INSURE THIS CONTINUITY.
- ALL EXISTING CONDUIT, OUTLETS AND WIRE EXPOSED DURING ALTERATIONS, THAT IS NOT SERVING EQUIPMENT TO REMAIN, SHALL BE REMOVED.
- ALL DEMOLISHED ITEMS NOT RETAINED BY OWNER SHALL BE DISPOSED OF IN A LAW ABIDING MANNER.
- EXISTING CIRCUITS REMOVED DURING DEMOLITION MUST BE MARKED SPARE, OR IDENTIFIED WITH NEW DESCRIPTION ON CIRCUIT DIRECTORY IF REUSED. EXISTING ACTIVE CIRCUITS MUST BE VERIFIED AND ACCURATELY LABELED ON DIRECTORY. NEW TYPED CIRCUIT DIRECTORY MUST BE PROVIDED AT PROJECT COMPLETION DOCUMENTING ACCURATE NEW CIRCUIT CONDITIONS WHICH REFLECT DEMOLITION AND NEW WORK.
- COORDINATE ELECTRICAL DEMOLITION WITH WORK OF OTHER DISCIPLINES.
- SEE ARCHITECTURAL DRAWINGS FOR FURTHER DETAIL ON DEMOLITION SCOPE.
- ON DEMOLITION PLAN, ALL ITEMS SHOWN BOLDDASHED SHALL BE REMOVED.

### FIRE ALARM SCOPE OF WORK:

- PROVIDE ELECTRICAL BOXES AND CONDUIT TO ACCOMMODATE THE FIRE ALARM SYSTEM THAT SHALL BE FULLY PROVIDED (DESIGN, FURNISH, INSTALL, TEST, AND DOCUMENT) BY OWNER'S VENDOR (TECH ELECTRONICS).
- THESE DOCUMENTS INDICATE LOCATION AND TYPES OF FIRE ALARM COMPONENTS PER CURRENT VENDOR DESIGN. ELECTRICAL BOXES SHALL BE PROVIDED AT EACH FIRE ALARM COMPONENT AS REQUIRED IN THE FINAL DESIGN FOR INSTALLATION OF DEVICES BY OWNER'S VENDOR.
- 1 INCH EMT CONDUIT SHALL BE PROVIDED IN LOCATIONS WHERE FIRE ALARM CABLE IS EXPOSED TO DAMAGE, IN SUCH LOCATIONS AS EXPOSED ON WALLS OR PARTITIONS LOWER THAN 12 FEET ABOVE FINISHED FLOOR OR WHERE AREA ACTIVITIES PRESENT A HAZARD. PROVIDE PULL STRING IN ALL EMPTY CONDUITS FOR INSTALLATION OF CABLE BY OWNER'S VENDOR.

### SECURITY (ACCESS CONTROL AND VIDEO SURVEILLANCE) SCOPE OF WORK:

- PROVIDE ELECTRICAL BOXES AND CONDUIT TO ACCOMMODATE THE ACCESS CONTROL AND VIDEO SURVEILLANCE SYSTEMS THAT SHALL BE PROVIDED (DESIGN, FURNISH, INSTALL, TEST, AND DOCUMENT) BY OWNER'S VENDOR (MURPHY).
- THESE DOCUMENTS INDICATE LOCATION AND TYPES OF ACCESS CONTROL AND VIDEO SURVEILLANCE COMPONENTS PER CURRENT VENDOR DESIGN. ELECTRICAL BOXES SHALL BE PROVIDED AT EACH COMPONENT AS REQUIRED IN THE FINAL DESIGN FOR INSTALLATION OF DEVICES BY OWNER'S VENDOR.
- 1 INCH EMT CONDUIT SHALL BE PROVIDED IN LOCATIONS WHERE ACCESS CONTROL OR VIDEO SURVEILLANCE CABLE IS EXPOSED TO DAMAGE, IN SUCH LOCATIONS AS EXPOSED ON WALLS OR PARTITIONS LOWER THAN 12 FEET ABOVE FINISHED FLOOR OR WHERE AREA ACTIVITIES PRESENT A HAZARD.
- VIDEO SURVEILLANCE CAMERAS SHALL BE PROVIDED WITH CATEGORY 6 COMMUNICATION CABLES FROM EACH CAMERA LOCATION TO THE IDENTIFIED COMMUNICATION CLOSET CONTAINING VSS NETWORKED EQUIPMENT. CATEGORY 6 CABLES SHALL BE INSTALLED, TESTED, TERMINATED, IDENTIFIED AND DOCUMENTED FOR CONNECTION BY OWNER'S VENDOR.
- Wires shall be secured with lock and padlock and labeled between the main security panels in the two IT rooms. Fiber optic cable shall be provided in armored jacket and terminated in LC connectors at each end. Cables shall be tested, identified and documented for use by the owner's vendor.
- ACCESS CONTROL SYSTEM LOCATIONS SHALL BE PROVIDED WITH COMPOSITE CABLES (WINDY CITY NJ446100 (184-223-222-324)) SHALL BE ROUTED BETWEEN EACH ACCESS CONTROL LOCATION AND THE DESIGNATED TELECOMMUNICATION CLOSET CONTAINING ACS NETWORKED EQUIPMENT AS DESIGNATED BY THE OWNER'S VENDOR. CABLES SHALL BE INSTALLED, IDENTIFIED AND DOCUMENTED FOR CONNECTION BY OWNER'S VENDOR. TEN FEET OF CABLE SHALL BE SPOOLED AT EACH END FOR TERMINATION AND TESTING BY OWNER'S VENDOR.

### LIGHTING NOTES:

- SWITCHES IN EACH ROOM SHALL CONTROL LIGHTS IN THAT ROOM ONLY UNLESS OTHERWISE NOTED.
- ALL FIXTURES ON INVERTER BACKUP SHALL BE WIRED FOR SWITCHED OPERATION UNLESS NOTED OTHERWISE.

### SYSTEM NOTES:

- CONTRACTOR SCOPE IS ROUGH-IN ONLY FOR ALL FIRE ALARM, VIDEO SURVEILLANCE, AND ACCESS CONTROL IN THE PROJECT SCOPE.
- COORDINATE LOW VOLTAGE DEVICE LOCATIONS WITH FINAL ARCHITECTURAL PLANS AND ELEVATIONS.
- FOR TELECOMMUNICATION (TELEPHONE/DATAMAP) OUTLETS, ROUGH-IN 4 1/16" SQUARE BOX, 2 1/2" DEEP WITH SINGLE GANG PLASTER RING, 1" CONDUIT TO ABOVE ACCESSIBLE CEILING WITH 90 DEGREE SWEEP AND BUSHING STUBBED TO WITHIN 6" OF J-HOOK PATHWAY.
- ALL OUTDOOR CABLING SHALL BE GENERAL CABLE "OUTDOOR RATED".
- DOOR OPERATOR PUSH PLATES SHOWN ARE PROVIDED BY DOOR SUPPLIER AND INSTALLED BY THIS SCOPE OF WORK.

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Proposed: KIRKWOOD PUBLIC WORKS  
RENOVATION  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059

Sheet No.  
E001

Date  
03/27/2026

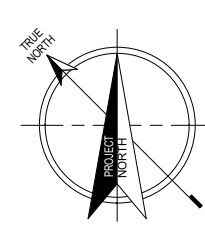
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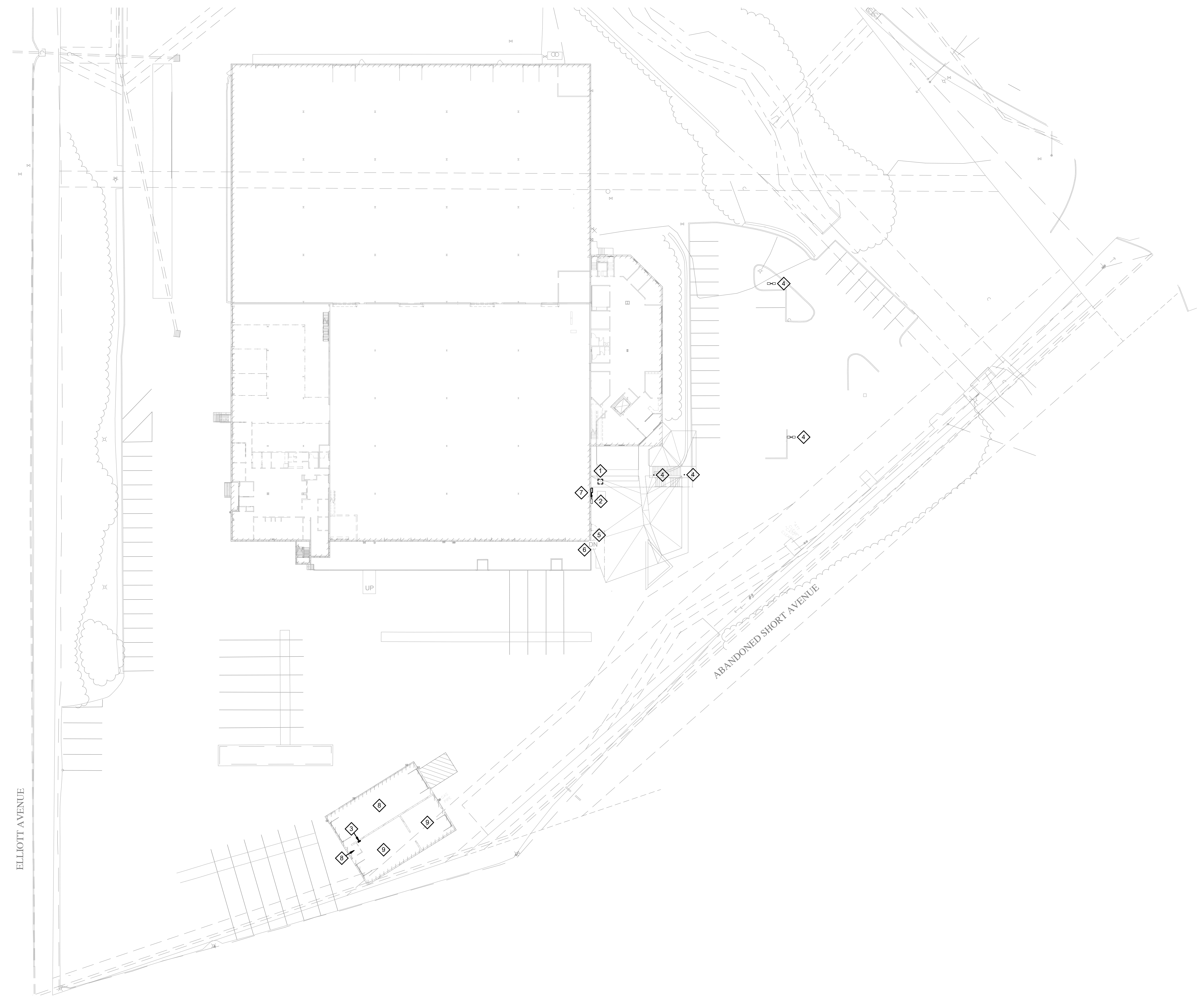
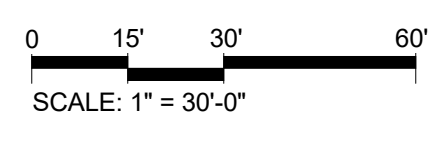


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1 ELECTRICAL DEMOLITION SITE PLAN  
1" = 30'-0"



- E101 SHEET KEYED NOTES**
- COORDINATE DISCONNECTION OF KPW ELECTRICAL PRIMARY, SERVICE TRANSFORMER AND METERING WITH KPW REPRESENTATIVES. PROVIDE DEMOLITION OF UTILITY EQUIPMENT PAD AND SECONDARY FEEDERS.
  - RETAIN EXISTING FIRE PUMP SERVICE CT CABINET AND METER FOR RECONNECTION TO NEW KPW ELECTRICAL SERVICE TRANSFORMER.
  - DISCONNECT AND REMOVE EXISTING WASHBAY 100A, 208Y/120V PANELBOARD. RETAIN EXISTING FEEDER FROM THE WAREHOUSE BUILDING AND BRANCH CIRCUITS FOR RECONNECTION TO NEW SERVICE. ENCLOSED CIRCUIT BREAKER SERVING RELOCATED TRANSFORMER AND REPLACEMENT PANELBOARD IN SAME LOCATION. REFER TO NEW WORK DRAWINGS FOR SCOPE OF WORK ASSOCIATED WITH RE-FEEDING OF REPLACEMENT PANELBOARD.
  - EXISTING POLE MOUNTED LIGHTING FIXTURES AND LIGHTING BOLLARD SHALL REMAIN. EXISTING LIGHTING CIRCUITS SHALL REMAIN WITH RECONNECTION TO NEW EXTERIOR LIGHTING CONTROL SYSTEM.
  - DISCONNECT AND REMOVE ALL ABANDONED EXTERIOR VIDEO SURVEILLANCE AND ACCESS CONTROL EQUIPMENT, INCLUDING ALL CONDUIT, COMPONENT SUPPORTS, HANGERS AND CABLING BACK TO SOURCE.
  - DISCONNECT AND REMOVE ALL ABANDONED POLE MOUNTED ELECTRICAL COMPONENTS INCLUDING CONDUITS AND CABLES ON EXTERIOR OF THE ENTIRE BUILDING.
  - RETAIN EXISTING ELECTRICAL BOX WITH PARKING LOT LIGHTING CIRCUITS AT THIS LOCATION FOR EXTENSION TO NEW EXTERIOR LIGHTING CONTROL PANEL.
  - DISCONNECT AND REMOVE EXISTING LIGHTING, RECEPTACLES, AND ASSOCIATED COMPONENTS WITHIN WASHBAY BUILDING UNLESS NOTED OTHERWISE. REMOVE EXISTING CIRCUITING AND CONTROLS BACK TO PANELBOARD LOCATION.
  - EXISTING RECEPTACLES TO REMAIN IN THIS AREA. RE-CIRCUIT AS SHOWN ON NEW WORK PLANS.

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**Proposed:**  
**KIRKWOOD PUBLIC WORKS**  
**RENOVATION**  
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Project No.  
**24059**

Sheet No.  
**E101**

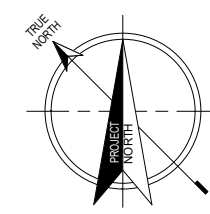
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# ELECTRICAL DEMOLITION PLAN - N WAREHOUSE L01

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SCALE: 1/8" = 1'-0"

## E102 SHEET KEYED NOTES

- DISCONNECT AND REMOVE EXISTING INOPERABLE LIGHT FIXTURE. LIGHT FIXTURE OPERABILITY COULD NOT BE 100% VERIFIED. PROVIDE UNIT COST TO REPLACE THE LIGHT FIXTURE. RETAIN IF IN GOOD WORKING CONDITION. SEE NEW WORK PLAN FOR NEW LIGHTING.
- DISCONNECT AND REMOVE EXISTING OPERABLE LIGHT FIXTURE. STORE IN A SAFE LOCATION AND REINSTALL IN NEW LOCATION AS PER NEW WORK PLAN. TURN OVER TO OWNER ALL UNUSED EXISTING OPERABLE LIGHT FIXTURES REMOVED IN DEMOLITION.
- EXISTING PANELBOARD TO REMAIN. SEE NEW WORK PLANS.
- THE EXISTING UNIT HEATER AND ITS ASSOCIATED BRANCH CIRCUIT SHALL REMAIN.
- THE EXISTING RECEPTACLE AND ITS ASSOCIATED BRANCH CIRCUIT SHALL REMAIN.
- DISCONNECT AND REMOVE EXISTING LIGHT FIXTURE. EXISTING RECEPTACLE SHALL REMAIN AND RECONNECTED TO NEW LIGHT FIXTURES.
- THE EXISTING FIRE PUMP AND JOCKEY PUMP CONTROLLERS AND THEIR ASSOCIATED BRANCH CIRCUIT SHALL REMAIN.
- THE EXISTING GARAGE DOOR OPENER AND ITS ASSOCIATED BRANCH CIRCUIT SHALL REMAIN.
- EXISTING MAU-1 SHALL REMAIN. EXISTING MOTOR BRANCH CIRCUIT SHALL BE DISCONNECTED AND REMOVED. REFER TO NEW WORK FOR NEW POWER BRANCH CIRCUIT.
- RETAIN LIGHTING FIXTURES AND CONTROLS IN WAREHOUSE SPACE EXCEPT AS NOTED.
- DISCONNECT AND REMOVE ALL BRANCH CIRCUITS, COMMUNICATION CIRCUITS AND DEVICES, FIRE ALARM CIRCUITS AND DEVICES, ETC. IN THIS AREA AS PART OF THE BULK DEMOLITION OF THIS SPACE UNLESS OTHERWISE NOTED. ALL ABANDONED COMPONENTS AND CABLES SHALL BE COMPLETELY REMOVED.

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ELEC DEMO PLAN - N WAREHOUSE L01



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GENERAL NOTES (THIS SHEET ONLY):

- ALL 20A, 120V BRANCH CIRCUITS SHALL HAVE MINIMUM CONDUCTOR SIZE OF #12.
- ALL 20A, 120V BRANCH CIRCUITS WITH CONDUCTOR LENGTH GREATER THAN 75' SHALL BE #10 CONDUCTORS. ALL OTHER 120V BRANCH CIRCUITS SHALL BE INCREASED IN CONDUCTOR SIZE TO LIMIT VOLTAGE DROP TO 3%.
- ALL BRANCH CIRCUIT CONDUITS AND OUTLETS IN WAREHOUSE TO BE PROVIDED ON EXISTING WALLS AND COLUMNS SHALL BE SURFACE MOUNTED.
- PROVIDE IDENTIFICATION LABEL FOR POWER SOURCE AND BRANCH CIRCUIT IDENTIFICATION AT EACH RECEPTACLE, DISCONNECT AND POWERED EQUIPMENT TO REMAIN. DOCUMENT EACH ON THE RECORD DRAWINGS FOR THIS PROJECT.

E204 SHEET KEYED NOTES

- ELECTRIC WATER COOLER OUTLET. MOUNT OUTLET TO CONCEAL CORD AND PLUG. FOLLOW MANUFACTURERS REQUIREMENTS OF SPECIFIC MODEL INSTALLED.
- DUPLEX RECEPTACLE FOR TIME CLOCK.
- DRYER OUTLET.
- OUTLET FOR UNDER COUNTER MICROWAVE. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION AND ELEVATION.
- OUTLET FOR ABOVE COUNTER MICROWAVE. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION AND ELEVATION.
- PROVIDE AND INSTALL (5) GFCI CIRCUIT BREAKERS FOR THE REFRIGERATOR RECEPTACLES.
- MOUNT TRANSFORMER HIGH ON WALL.
- 24"x4"x1/2" COPPER GROUND BAR. INSTALL #3/0 BARE CABLE TO SERVICE ENTRANCE GROUND BAR.
- NEMA 3R FEEDER PULL BOX.
- EMERGENCY SYSTEM PORTABLE GENERATOR DOCKING STATION. SEE ELECTRICAL SITE PLAN SHEET E201 FOR MORE DETAIL.
- AS PART OF ALTERNATE #18 - WHOLE BUILDING GENERATOR. SEE ELECTRICAL SITE PLAN SHEET E201 FOR MORE DETAIL.
- CONNECT START CIRCUIT TO ATS. AS PART OF ALTERNATE #18 - WHOLE BUILDING GENERATOR.
- CONNECT TO GENERATOR ANNUNCIATOR. AS PART OF ALTERNATE #18 - WHOLE BUILDING GENERATOR.
- CONNECT TO JACKET WATER HEATER. AS PART OF ALTERNATE #18 - WHOLE BUILDING GENERATOR.
- CONNECT TO BATTERY CHARGER. AS PART OF ALTERNATE #18 - WHOLE BUILDING GENERATOR.
- INSTALL SURE-LITES SELVIT 26-NC-WH-SP EMERGENCY LIGHT ABOVE GENERATOR CONTROL PANEL. CONNECT TO SAME CIRCUIT AS BATTERY CHARGER. AS PART OF ALTERNATE #18 - WHOLE BUILDING GENERATOR.
- PROVIDE NEW FEEDER TO EXISTING PANELBOARD. PROVIDE NEW IDENTIFICATION NAMEPLATE. PROVIDE AND INSTALL NEW BREAKERS IN EXISTING SPACE AND MODIFY EXISTING BREAKERS IN PANEL 1P-HP1. SEE PANELBOARD DIRECTORY ON SHEET E601 FOR MORE INFORMATION.
- PROVIDE NEW FEEDER TO EXISTING PANELBOARD. PROVIDE NEW IDENTIFICATION NAMEPLATE. PROVIDE AND INSTALL NEW BREAKERS IN EXISTING SPACE IN PANEL 1P-LP1. SEE PANELBOARD DIRECTORY ON SHEET E601 FOR MORE INFORMATION.
- PROVIDE NEW FEEDER TO EXISTING PANELBOARD. PROVIDE NEW IDENTIFICATION NAMEPLATE. PROVIDE AND INSTALL NEW BREAKERS IN EXISTING SPACE AND MODIFY EXISTING BREAKERS IN PANEL 1P-LP2. SEE PANELBOARD DIRECTORY ON SHEET E601 FOR MORE INFORMATION.
- SWITCHED POWER FOR GARBAGE DISPOSAL.
- PROVIDE SURFACE MOUNTED CONDUIT DOWN COLUMN TO FEED SURFACE MOUNTED RECEPTACLE.
- CENTRAL LIGHTING INVERTER.
- POWER FOR AIR COMPRESSOR. 2 #10, 1 #12G, 3/4" TO PANEL 1P-LP4.
- AIR COMPRESSOR MANUAL MOTOR STARTER (HP RATED TOGGLE SWITCH).
- POWER FOR OIL PUMP. 2 #10, 1 #12G, 3/4" TO PANEL 1P-LP4.
- OIL PUMP MANUAL MOTOR STARTER (TOGGLE DISCONNECT SWITCH).
- HEAVY DUTY TIRE MACHINE OUTLET.
- OIL LEVEL MONITORING SYSTEM.

POWER PLAN - S WAREHOUSE L01

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SCALE: 1/8" = 1'-0"

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Roy A. Marston

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[Consultants]

Proposed:  
KIRKWOOD PUBLIC WORKS  
RENOVATION  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059  
Sheet No.  
E204  
Name: Mary J Grib  
Discipline: Professional Engineer  
License No: PE-026961  
Expiration Date: 12/31/2027  
Date  
03/27/2026

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GENERAL NOTES (THIS SHEET ONLY):

- EXISTING RECEPTACLES SHALL REMAIN FOR RE-USE UNLESS NOTED OTHERWISE. ALL EXISTING RECEPTACLES AND SWITCHES SHALL BE PROVIDED WITH NEW IDENTIFICATION OF SOURCE OF POWER INCLUDING PANELBOARD AND BRANCH CIRCUIT NUMBER.
- ALL WORK ASSOCIATED WITH THE THIRD FLOOR DISPATCH OFFICE SHALL BE INCLUDED IN THE ALTERNATE #1A - POLICE DISPATCH PRICING.
- DOCUMENT THE POWER SOURCE AND CIRCUIT NUMBER FOR EACH EXISTING TO REMAIN RECEPTACLE, DISCONNECT AND POWERED EQUIPMENT ON THE RECORD DRAWINGS FOR THIS PROJECT.

E205 SHEET KEYED NOTES

- BUILDING MANAGEMENT SYSTEM CONTROL PANEL BY MECHANICAL CONTRACTOR. PROVIDE WITH TRIPP LITE SMART1000RMTU 1-HOUR UPS.
- OUTSIDE LIGHTING CONTROL PANEL.
- FIRE ALARM CONTROL PANEL AND NETWORK / CELL DIGITAL COMMUNICATOR. PROVIDE A NEW DEDICATED CIRCUIT.
- PROVIDE AND INSTALL NEW SECURITY CONTROL PANEL. EXISTING HYDRAULIC CONTROLLER.
- EXISTING PLUGMOLD. EXISTING CIRCUIT TO REMAIN.
- 24"x4"x1/2" COPPER GROUND BAR. PROVIDE #80 BARE CABLE TO SERVICE ENTRANCE GROUND BAR. BOND TO CABINETS, CABLE TRAY AND EQUIPMENT RACKS.
- PROVIDE SECONDARY BONDING BAR IN DISPATCH IT ROOM. PROVIDE INTERNAL PERIMETER BONDING BUS AROUND PERIMETER. PROVIDE ALL GROUNDING AND BONDING FOR DISPATCH ROOM AND ROOFTOP ANTENNA. REFER TO SPECIFICATION SECTION 280506 FOR ADDITIONAL REQUIREMENTS. MOTOROLA R56 GROUNDING REQUIREMENTS SHALL BE COMPLIED WITH.
- NEMA L6-30R OUTLET MOUNTED ABOVE RACK FOR UPS CONNECTION.
- EXISTING ELECTRIC WATER COOLER. EXISTING CIRCUIT TO REMAIN.
- ALL POWER ON THIS WALL HAS EXISTING CIRCUIT TO REMAIN.
- EXISTING HAND DRYER. EXISTING CIRCUIT TO REMAIN.
- PROVIDE NEW ELEVATOR POWER FEEDER TO 10P-HP1 IN ELECTRICAL SERVICE CENTER.
- PROVIDE NEW ELEVATOR SHUNT TRIP POWER CIRCUIT FROM 1P-HP1 - 42.
- EXISTING ELEVATOR CAB LIGHTS. EXISTING CIRCUIT TO REMAIN.
- EXISTING WATER HEATER. EXISTING CIRCUIT TO REMAIN.
- EXISTING CIRCULATOR PUMP. RECIRCUIT AS SHOWN.
- EXISTING IRRIGATION CONTROL PANEL.
- PROVIDE 208V/120V, 100A PANELBOARD AS PART OF ALTERNATE #1A - POLICE DISPATCH.
- PROVIDE 30VA, 208V PRIMARY, 120/208V SECONDARY, 30, 4-WIRE UPS AS PART OF ALTERNATE #1A - POLICE DISPATCH.
- SWITCHED POWER FOR GARBAGE DISPOSER.
- RELOCATED TVSS PANEL LOCATED UNDER PANEL 3P-LU2.
- RELOCATED 208V/120V, 100A UPS PANELBOARD.
- RELOCATED DISCONNECT SWITCH.
- RELOCATED APC MAINTENANCE BYPASS PANEL.
- POWER FEEDER TO SERVE DISPATCH RELOCATED UPS SYSTEM AS PART OF DISPATCH ALTERNATE.
- EXISTING POWER POINT FOR MODULAR FURNITURE.
- PROVIDE 2" CONDUIT WITH PULL CORD FROM RADIO/IT ROOM TO ROOF FOR OWNER VENDOR PROVIDED CONNECTIONS TO ROOFTOP ANTENNA. COORDINATE LOCATION OF ANTENNA LOCATION GROUND BAR WITH OWNER'S VENDOR.
- ROUTE #500 CU FROM ELECTRICAL SERVICE GROUND TO PRIMARY BONDING BAR IN RADIO/IT 0313. ROUTE #40 CU FROM PRIMARY BONDING BAR TO DISPATCH AREA SBB. ROUTE #10 CU FROM DISPATCH AREA SBB TO EACH OPERATOR POSITION SBB. ROUTE #10 CU FROM DISPATCH AREA ABB TO EACH OPERATOR POSITION SBB.
- POWER FOR DOOR HARDWARE.
- POWER FOR DOOR CHIME SYSTEM.
- SEE LARGE SCALE PLAN THIS SHEET FOR MORE INFORMATION.
- PROVIDE POWER POLE FOR PROVIDING POWER TO DISPATCH STATIONS. PROVIDE POWER FOR 3 SEPARATE CIRCUITS.

4 LARGE SCALE POWER PLAN - IT CLOSET 0118

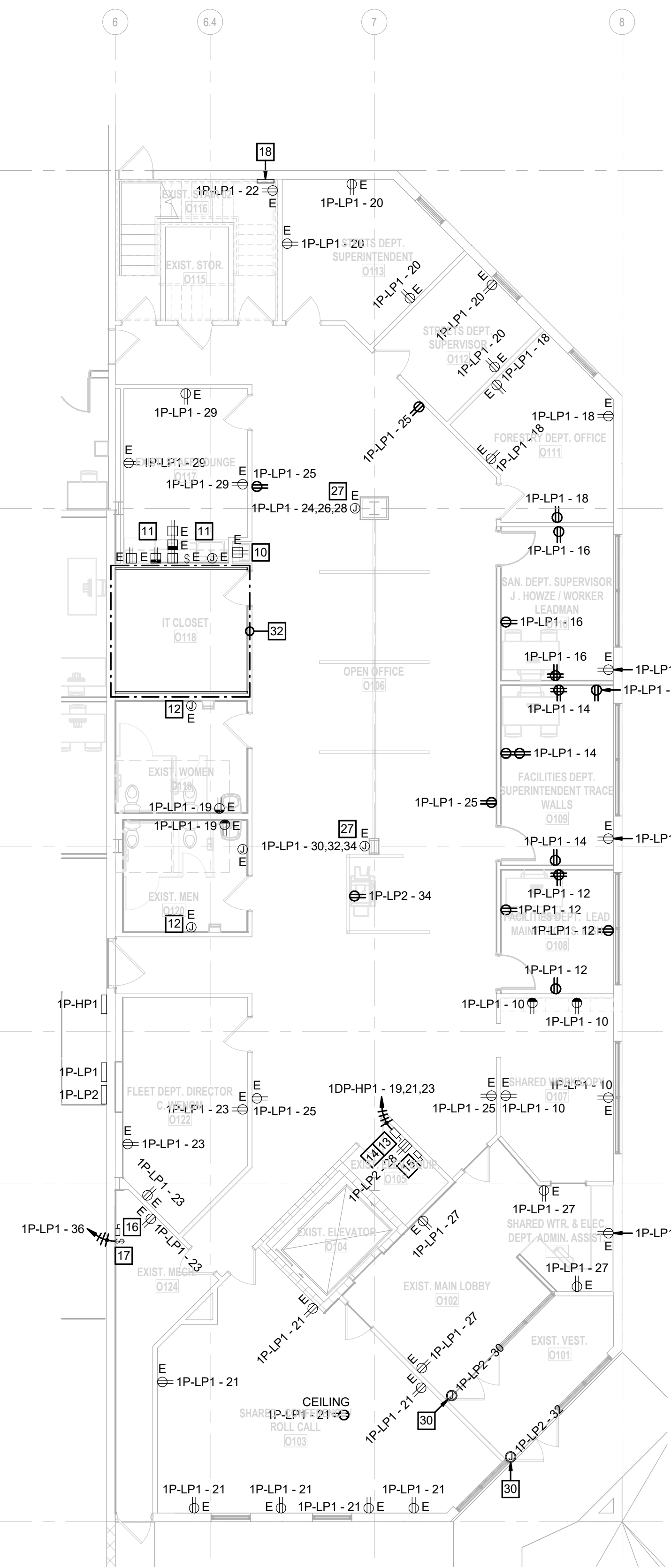
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5 LARGE SCALE POWER PLAN - IT CLOSET 0216

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6 LARGE SCALE POWER PLAN - RADIO/IT 0313

1/4" = 1'-0"



1 POWER PLAN - OFFICE L01

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2 POWER PLAN - OFFICE L02

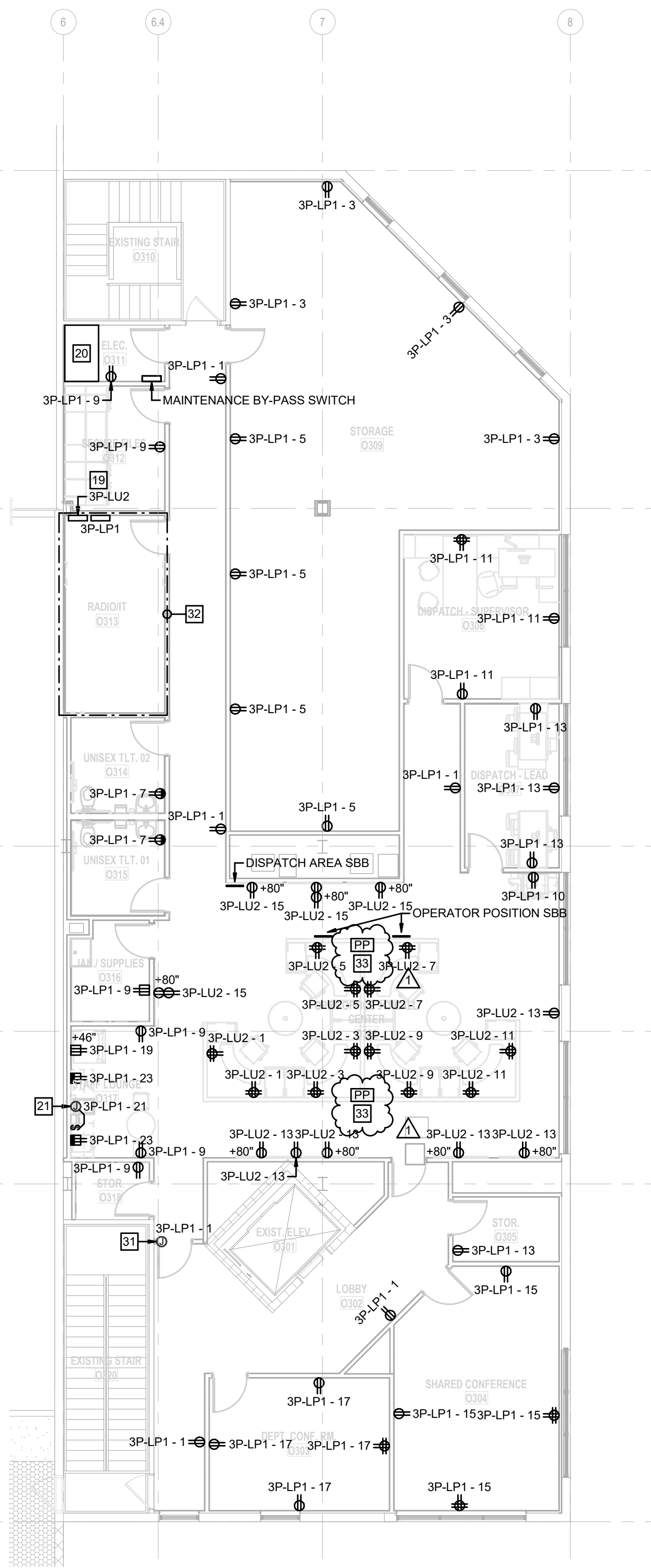
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3 POWER PLAN - OFFICE L03

1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



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Proposed: KIRKWOOD PUBLIC WORKS  
RENOVATION  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059

Sheet No.  
E205

Date  
03/27/2026

Name: Mary J Grib  
Discipline: Professional Engineer  
License No: PE-026961  
Expiration Date: 12/31/2027

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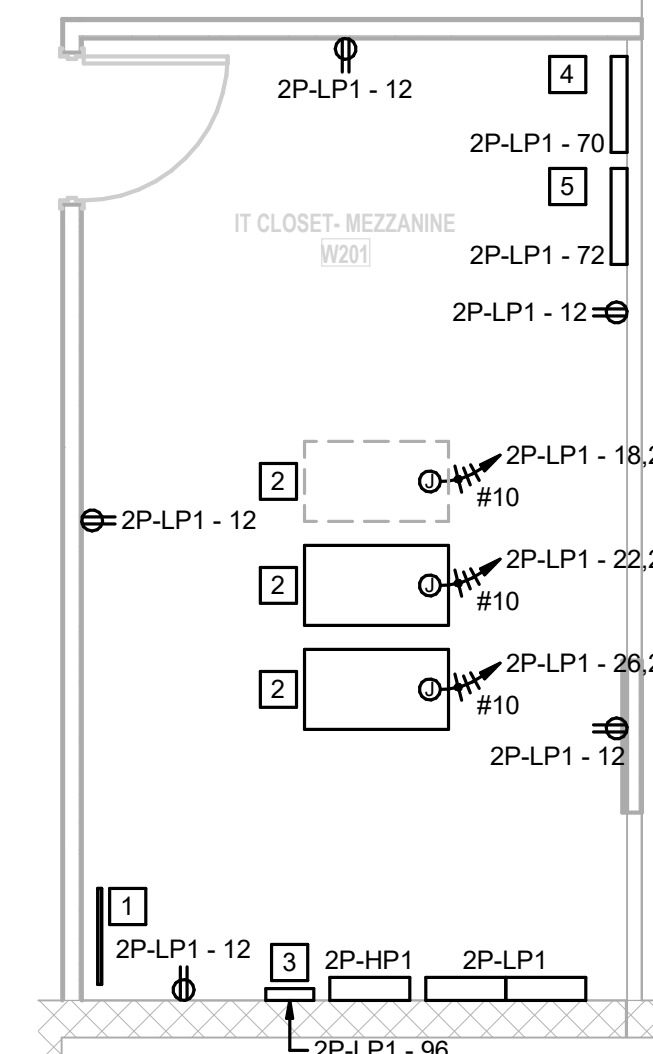


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E206 SHEET KEYED NOTES

- 24"x4"x1/2" COPPER GROUND BAR. PROVIDE #30 BARE CABLE TO SERVICE ENTRANCE GROUND BAR. BOND TO CABINETS, CABLE TRAY AND EQUIPMENT RACKS.
- NEMA L6-30R OUTLET MOUNTED ABOVE RACK FOR UPS CONNECTION.
- OUTSIDE LIGHTING CONTROL PANEL BY OWNER'S VENDOR.
- SECURITY CONTROL PANEL BY OWNER'S VENDOR.
- VIDEO SURVEILLANCE EQUIPMENT BY OWNER'S VENDOR.
- COORDINATE EXACT LOCATION WITH EQUIPMENT IN THE FIELD.
- SEE LARGE SCALE PLAN THIS SHEET FOR MORE INFORMATION.
- COORDINATE EXACT LOCATION WITH EQUIPMENT IN THE FIELD. PROVIDE A 60A NEMA1 NON-FUSED DISCONNECT SWITCH. MOUNT DISCONNECT SWITCH ON THE NEAREST COLUMN AT 6' ABOVE FINISHED FLOOR. FINAL CONNECTION SHALL BE BY OWNER.



2 LARGE SCALE AUXILIARY PLAN  
1/4" = 1'-0"

1 POWER PLAN - S WAREHOUSE L02

1/8" = 1'-0"  
SCALE: 1/8" = 1'-0"

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No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059

Sheet No.  
E206

Date  
03/27/2026

546 LEFFINGWELL AVE.

POWER PLAN - S WAREHOUSE L02







E303 SHEET KEYED NOTES

1. FIXTURE CONTROLLED FROM UL924 RELAY TO SWITCH EMERGENCY LIGHTS WITH NORMAL LIGHTS.
2. EXISTING RELOCATED LIGHT FIXTURE.
3. EXISTING WALL MOUNTED LIGHT FIXTURE IN EXISTING MECHANICAL ROOM TO REMAIN.
4. EXISTING WALL MOUNTED LIGHT FIXTURE IN EXISTING STORAGE ROOM TO REMAIN.
5. HANG FIXTURE AT 9' A.F.F..
6. OUTSIDE LIGHTING CONTROL PANEL. PROVIDE PHOTOCELL ON ROOF AND ROUTE CONDUCTORS IN 1/2" CONDUIT TO LIGHTING CONTROL PANEL. ROUTE EXTERIOR LIGHTING CIRCUITS, BOTH EXISTING AND NEW, TO LIGHTING CONTROL PANEL. SEE SHEET E501 FOR DETAIL.
7. ALL WORK ASSOCIATED WITH THE THIRD FLOOR SHALL BE INCLUDED IN ALTERNATE #1A - POLICE DISPATCH.

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No.	Date	Revision
1	04/10/2026	ADDENDUM #1

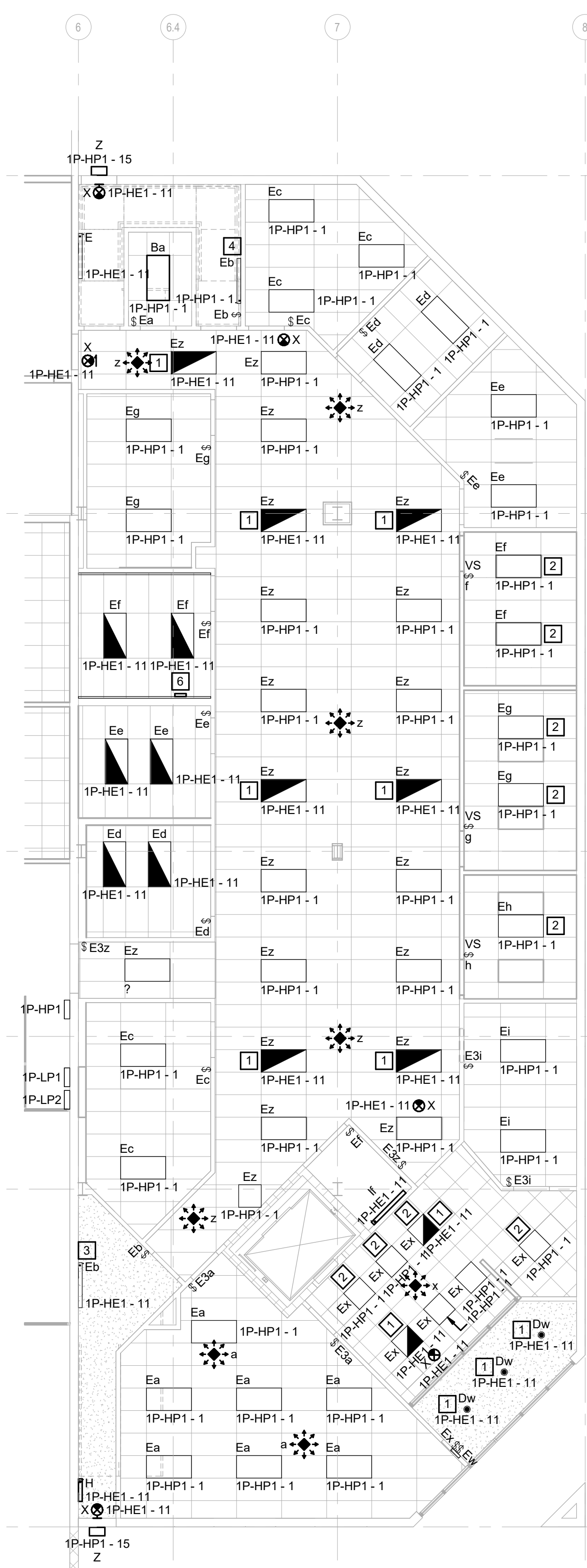
Project No.  
24059

Sheet No.  
E303

Date  
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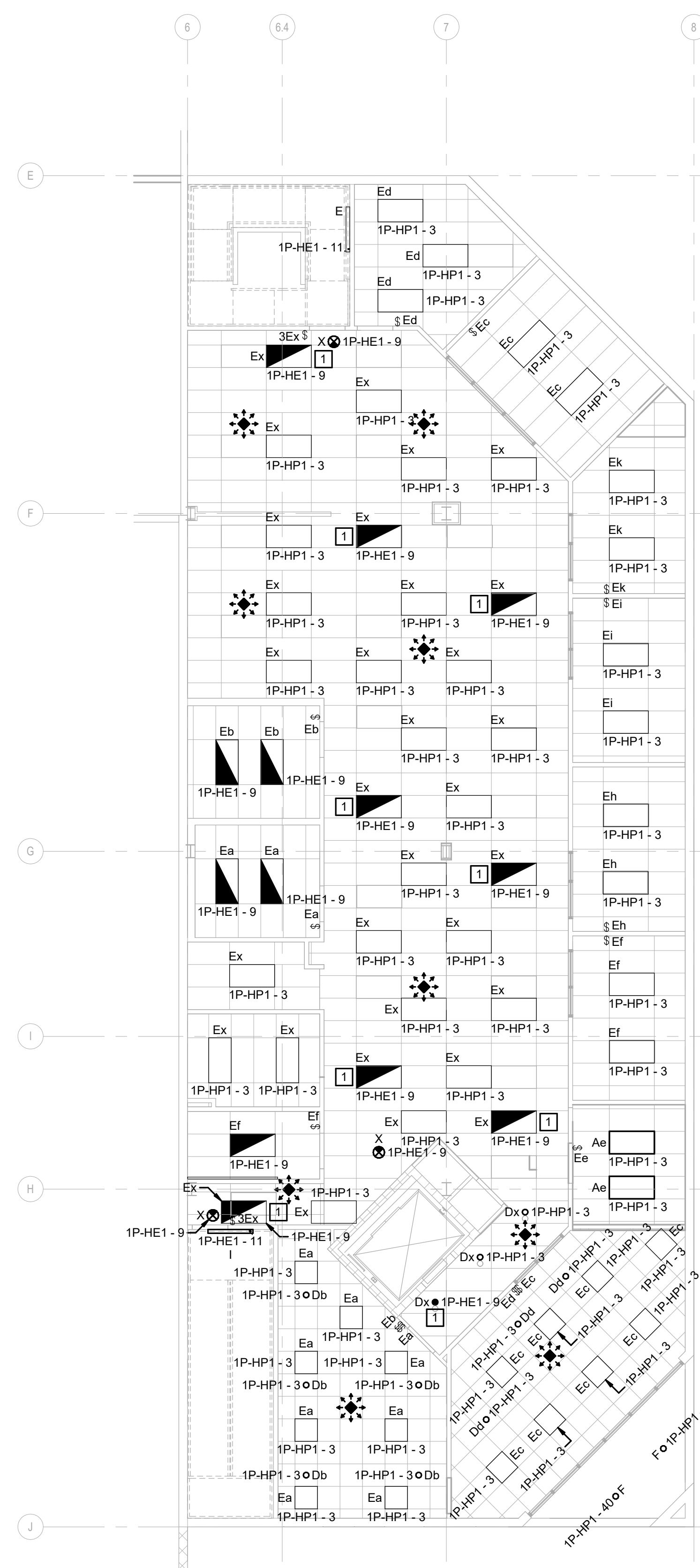
Name: Mary J Grib  
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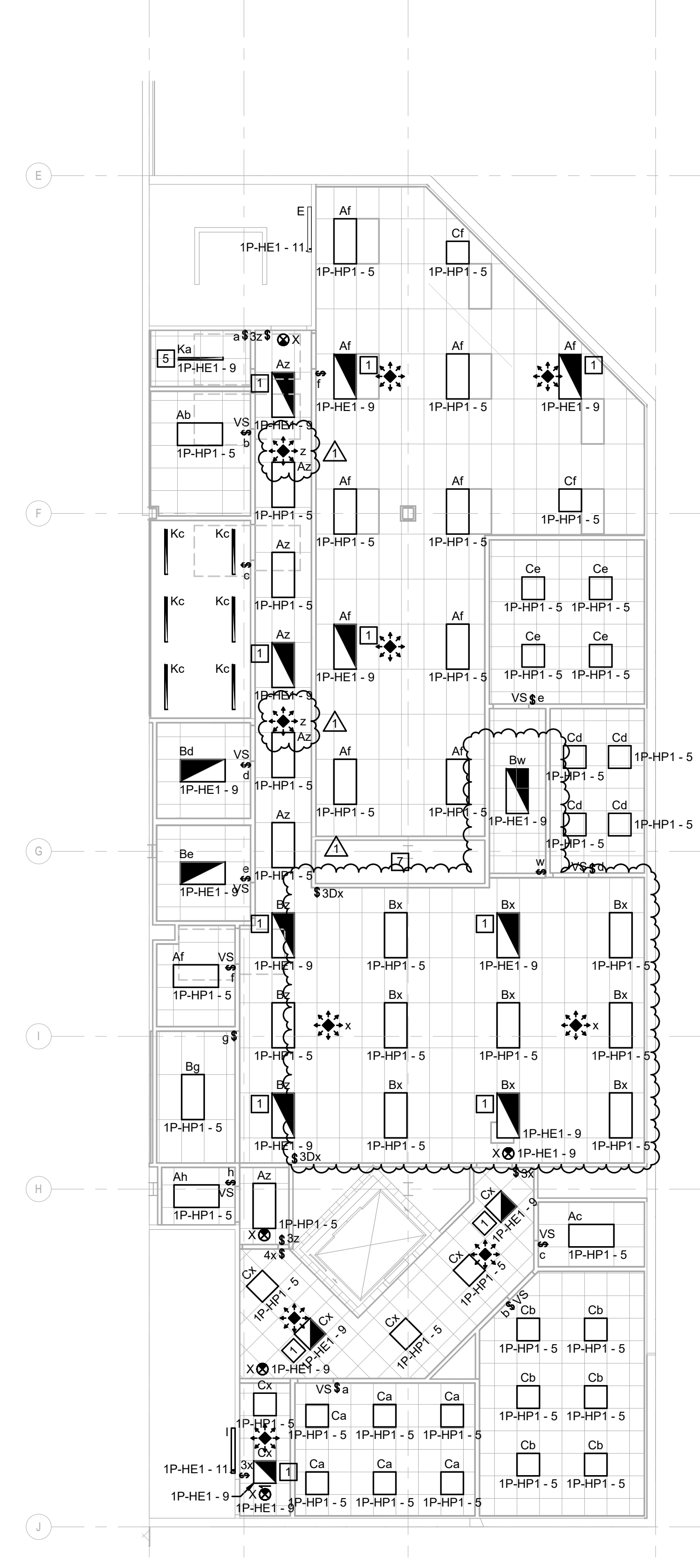
1 LIGHTING PLAN - OFFICE L01

1/8" = 1'-0"  
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



2 LIGHTING PLAN - OFFICE L02

1/8" = 1'-0"  
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

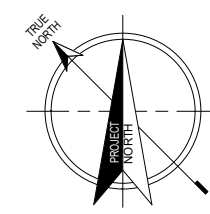


3 LIGHTING PLAN - OFFICE L03

1/8" = 1'-0"  
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"



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# 1 AUXILIARY PLAN - N WAREHOUSE L01

1/8" = 1'-0"  
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

- E401 SHEET KEYED NOTES**
- 1 PROVIDE CAT 6 CABLE FROM CAMERA TO IT CLOSET 0118.
  - 2 PROVIDE CAT 6 CABLE FROM CAMERA TO IT CLOSET W201 ON MEZZANINE.
  - 3 FIRE ALARM DEVICES ARE SHOWN FOR REFERENCE. REFER TO COVER SHEET FOR FIRE ALARM ROUGH-IN REQUIREMENTS.
  - 4 ALL DATA OUTLETS ON THIS SHEET SHALL BE ROUTED TO THE IT CLOSET 0118 SHOWN ON SHEET E403.
  - 5 TERMINATE ON PATCH PANELS FOR KPW IT NETWORK SYSTEM MOUNTED ON MEZZANINE.
  - 6 ALL WAP DEVICES ON THIS SHEET SHALL BE ROUTED TO WAREHOUSE MEZZANINE IT CLOSET W201 SHOWN ON SHEET E404. DUE TO DISTANCE TO IT CLOSET, ADD INTERMEDIATE SWITCHES AS NECESSARY.

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**KIRKWOOD PUBLIC WORKS**  
**RENOVATION**  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
**24059**

Sheet No.  
**E401**

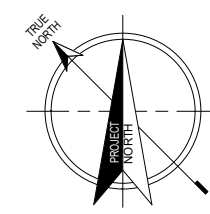
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# 1 AUXILIARY PLAN - S WAREHOUSE L01

1/8" = 1'-0"  
0 4'-0" 8'-0" 16'-0"  
SCALE: 1/8" = 1'-0"

## E402 SHEET KEYED NOTES

- 1 PROVIDE CAT 6 CABLE FROM CAMERA TO IT CLOSET 0118.
- 2 PROVIDE CAT 6 CABLE FROM CAMERA TO IT CLOSET W201 ON MEZZANINE.
- 3 PROVIDE CAT 6 CABLE FROM CAMERA TO IT CLOSET W201 ON MEZZANINE.
- 4 DOORBELL SYSTEM AUDIBLE CHIME AND VISUAL NOTIFICATION DEVICE.
- 5 FIRE ALARM ANNUNCIATOR PANEL BY OWNER'S VENDOR.
- 6 DATA OUTLET FOR TIME CLOCK.
- 7 PROVIDE (WINDY CITY WIRE N446100 OR EQUAL) COMPOSITE CABLE FROM ACCESS CONTROL DEVICES TO IT CLOSET W201 ON MEZZANINE.
- 8 FIRE ALARM DEVICES ARE SHOWN FOR REFERENCE. REFER TO COVER SHEET FOR FIRE ALARM ROUGH-IN REQUIREMENTS.
- 9 ALL DATA OUTLETS ON THIS SHEET LOCATED TO THE WEST OF COLUMN LINE 4 SHALL BE ROUTED TO THE IT CLOSET W201 SHOWN ON SHEET E404. TERMINATE ON PATCH PANELS FOR KPW IT NETWORK.
- 10 ALL DATA OUTLETS ON THIS SHEET LOCATED TO THE EAST OF COLUMN LINE 4 SHALL BE ROUTED TO THE IT CLOSET 0118 SHOWN ON SHEET E403. TERMINATE ON PATCH PANELS FOR KPW IT NETWORK.
- 11 TYPICAL WALL MOUNTED WAP TO R.F.S.
- 12 ALL WAP DEVICES ON THIS SHEET SHALL BE ROUTED TO WAREHOUSE MEZZANINE IT CLOSET W201 SHOWN ON SHEET E404. ANY DEVICE 300' OR MORE FROM IT CLOSET, ADD INTERMEDIATE SWITCHES AS NECESSARY.

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Proposed: KIRKWOOD PUBLIC WORKS RENOVIATION  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/10/2026	ADDENDUM #1

Project No.  
24059

Sheet No.  
E402

Date  
03/27/2026

Name: Mary J Grib  
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GENERAL NOTES (THIS SHEET ONLY):

- ALL WORK ASSOCIATED WITH THE 3RD FLOOR DISPATCH SHALL BE INCLUDED IN ALTERNATE #1A - POLICE DISPATCH.
- REFER TO DATA NETWORK INFRASTRUCTURE RISER DIAGRAM ON DRAWING E501 FOR DETAILS.

E403 SHEET KEYED NOTES

- RELOCATE EXISTING IT RACK TO PROVIDE 48 INCHES OF CLEARANCE BEHIND RACK TO WALL. PROVIDE ONE PAIR OF FIBER FROM IT CLOSET W201 ON MEZZANINE TO IT CLOSET 0118 FROM OWNER'S VSS SYSTEM.
- RELOCATED EXISTING IT RACK FROM IT CLOSET 0118. PROVIDE 5W RACK MOUNTED UPS.
- PROVIDE 48 PORT CATEGORY 6 PATCH PANEL.
- EXISTING VOICE SYSTEM WALL MOUNTED CONNECTING BLOCKS TO REMAIN.
- PROVIDE CAT 6 CABLE FROM CAMERA TO IT CLOSET 0118.
- FIRE ALARM ANNUNCIATOR PANEL (BY OWNER'S VENDOR).
- FIRE ALARM CONTROL PANEL (BY OWNER'S VENDOR).
- NETWORK/CELL DIGITAL COMMUNICATOR (BY OWNER'S VENDOR).
- PROVIDE 24 PORT FIBER OPTIC CABLE ENTRANCE ENCLOSURE. PROVIDE FOUR STRANDS OF SINGLE MODE FIBER OPTIC CABLE FROM ENCLOSURE TO 2ND FLOOR IT ROOM FOR KPW NETWORK. PROVIDE FOUR STRANDS OF SINGLE MODE FIBER OPTIC CABLE FROM ENCLOSURE TO MEZZANINE IT ROOM FOR KPW NETWORK. PROVIDE FOUR STRANDS OF SINGLE MODE FIBER OPTIC CABLE FROM ENCLOSURE TO 3RD FLOOR IT ROOM FOR KPW NETWORK AS PART OF THE DISPATCH ALTERNATE. PROVIDE TWO STRANDS OF SINGLE MODE FIBER OPTIC CABLE FROM ENCLOSURE TO THE MEZZANINE IT ROOM FOR VIDEO SURVEILLANCE TO THE MEZZANINE IT ROOM FOR VIDEO SURVEILLANCE. PROVIDE ONE STRAND OF SINGLE MODE FIBER OPTIC CABLE FROM ENCLOSURE TO THE IT ROOMS FOR WAP NETWORK CONNECTION. THIS FIBER OPTIC CABLE WILL CONNECT TO THE SEGRA NETWORK FOR WAP.
- PROVIDE (WINDY CITY WIRE N446100 OR EQUAL) COMPOSITE CABLE FROM ACCESS CONTROL DEVICES TO IT CLOSET 0118.
- REMOVE EXISTING ANTENNA FROM RADIO/IT ROOM TO ROOF FOR OWNER VENDOR. PROVIDED CONNECTIONS TO ROOFTOP ANTENNA. COORDINATE LOCATION OF ANTENNA LOCATION GROUND BAR WITH OWNER'S VENDOR.
- PROVIDE 2" EMPTY CONDUIT WITH PULLSTRING FROM 2ND FLOOR IT CLOSET TO ROOF FOR OWNER PROVIDED ANTENNA.
- PROVIDE (10) DATA DROPS AT EACH DISPATCH WORKSTATION TO 3RD FLOOR IT ROOM AS PART OF DISPATCH ALTERNATE. ALL DISPATCH WORKSTATION DATA DROPS SHALL BE ROUTED TO THE SLCO DISPATCH RACK FOR TERMINATION ON THE PATCH PANELS BY THE OWNER'S VENDOR. PROVIDE COMMUNICATION CABLE POWER POLE FROM ABOVE CEILING TO EACH DISPATCH WORKSTATION. COMMUNICATION POWER POLE SHALL HAVE CAPACITY FOR 12 CATEGORY 6A CABLES. EACH DISPATCH STATION SHALL HAVE A DESIGNATED COMMUNICATION CABLE SERVING POLE.
- ACCESS CONTROL PANEL.
- FIRE ALARM DEVICES ARE SHOWN FOR REFERENCE. REFER TO COVER SHEET FOR FIRE ALARM ROUGH-IN REQUIREMENTS.
- ALL DATA OUTLETS ON THIS SHEET SHALL BE ROUTED TO THE ASSOCIATED IT CLOSET ON THAT FLOOR. ALL DATA OUTLETS ON THE 1ST AND 2ND FLOORS SHALL TERMINATE ON PATCH PANELS FOR KPW IT NETWORK. AS PART OF ALTERNATE #1A - POLICE DISPATCH, FOR ALL NON-DISPATCH STATION COMMUNICATION OUTLETS: PROVIDE ALL DATA CABLES, INCLUDING WORKSTATION JACKS, ELECTRICAL BOXES, CONDUIT, TERMINATIONS, TESTING PATCH PANELS, AND PATCH CORDS FROM THE COMMUNICATION OUTLET TO THE KPW IT NETWORK RACK PATCH PANEL.
- RACK BONDING BUSBAR (TYPICAL EACH RACK).
- PRIMARY BONDING BAR.
- IPB BOND TO EACH RACK BONDING BUSBAR (TYPICAL EACH RACK).
- IPB BOND TO HVAC EQUIPMENT, DUCTWORK AND VENTS.
- IPB BOND TO UPS.
- IPB BOND TO PANELBOARD.
- IPB BOND TO DOOR FRAME.
- EXISTING DATA ACCESS POINT FOR MODULAR FURNITURE.
- PROVIDE ELECTRICAL BOXES AND CONDUIT ROUGH-IN FOR OWNER VENDOR PROVIDED AUDIO/VIDEO INTERCOM SYSTEM. SYSTEM SHALL CONSIST OF INTERCOM STATION AT VESTIBULE WITH TWO REMOTE MASTER STATIONS IN LOCATIONS TO BE DETERMINED BY OWNER.
- PROVIDE CHIME SYSTEM WITH A DOOR BELL AT THIS DOOR WITH A CHIME LOCATION WITHIN THE 911 CALL CENTER. CHIME SHALL CONSIST OF WIRED SYSTEM WITH A WHITE ROUND PUSH BUTTON LOCATED TO THE JAMB SIDE OF THE ENTRY DOOR AT 48" ABOVE FINISHED FLOOR. CHIME SHALL BE ADJUSTABLE FOR TONE AND VOLUME AND LOCATED ON THE PARTITION OUTSIDE THE JANUARY LIES ROOM AT 12" BELOW CEILING. COORDINATE LOCATION WITH OWNER PRIOR TO INSTALLATION.
- SEE LARGE SCALE PLAN THIS SHEET FOR MORE INFORMATION.

4 LARGE SCALE AUXILIARY PLAN - IT CLOSET 0118  
1/4" = 1'-0"

5 LARGE SCALE AUXILIARY PLAN - IT CLOSET 0216  
1/4" = 1'-0"

6 LARGE SCALE AUXILIARY PLAN - RADIO/IT 0313  
1/4" = 1'-0"

1 AUXILIARY PLAN - OFFICE L01  
1/8" = 1'-0"

2 AUXILIARY PLAN - OFFICE L02  
1/8" = 1'-0"

3 AUXILIARY PLAN - OFFICE L03  
1/8" = 1'-0"

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Proposed:  
KIRKWOOD PUBLIC WORKS  
RENOVATION  
545 LEFFINGWELL AVE.

No.	Date	Revision
1	04/18/2026	ADDENDUM #1

Project No.  
24059  
Sheet No.  
E403  
Date  
03/27/2026

Name: Mary J Grib  
Discipline: Professional Engineer  
License No: PE-026961  
Expiration Date: 12/31/2027

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1. EXISTING COPPER AND VOICE SYSTEM COMPONENTS ARE EXISTING TO REMAIN.
2. EACH NEW DATA OUTLET SHALL BE PROVIDED WITH TWO CATEGORY 6 CABLES AND OUTLETS.
3. EACH WAP OUTLET SHALL BE PROVIDED WITH ONE CATEGORY 6 CABLE AND OUTLET.

- 1 EXISTING EQUIPMENT RACK, CABLE MANAGEMENT AND PATCH PANEL TO REMAIN AFTER RELOCATION. KPW SHALL DETERMINE THE EXISTING COMPONENTS FOR RE-USE.
- 2 NEW EQUIPMENT RACK SHALL BE PROVIDED WITH TWO 48 PORT CAT 6 PATCH PANELS, 5 KW RACK MOUNTED UPS, CABLE MANAGEMENT AND SURGE STRIP. NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY OWNER.
- 3 EXISTING TO REMAIN AFTER RELOCATION EQUIPMENT RACK WITH PATCH PANELS AND CABLE MANAGEMENT. KPW SHALL DETERMINE THE EXISTING COMPONENTS FOR RE-USE.
- 4 NEW EQUIPMENT RACK SHALL BE PROVIDED WITH ONE 48 PORT CAT 6 PATCH PANEL FOR GUEST WIFI, TWO 48 PORT CAT 6 PATCH PANELS, 5 KW RACK MOUNTED UPS, CABLE MANAGEMENT AND SURGE STRIP. NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY OWNER.
- 5 NEW EQUIPMENT RACK SHALL BE PROVIDED WITH ONE FIBER OPTIC PATCH PANEL, TWO 48 PORT CAT 6 PATCH PANELS, CABLE MANAGEMENT, NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY OWNER.
- 6 NEW EQUIPMENT RACK SHALL BE PROVIDED WITH ONE 48 PORT CAT 6 PATCH PANEL, FOR GUEST WIFI, 5 KW RACK MOUNTED UPS, CABLE MANAGEMENT AND SURGE STRIP. NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY OWNER.
- 7 DISPATCH ALTERNATE NEW EQUIPMENT RACK SHALL BE PROVIDED WITH ONE FIBER OPTIC PATCH PANEL, TWO 48 PORT CAT 6 PATCH PANELS, AND CABLE MANAGEMENT. NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY OWNER.
- 8 DISPATCH ALTERNATE NEW EQUIPMENT RACK SHALL BE PROVIDED WITH ONE 48 PORT CAT 6 PATCH PANEL, FOR GUEST WIFI, TWO 48 PORT CAT 6 PATCH PANELS, CABLE MANAGEMENT, SURGE STRIP. NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY OWNER.
- 9 DISPATCH ALTERNATE NEW EQUIPMENT RACK SHALL BE PROVIDED WITH TWO 48 PORT CAT 6 PATCH PANELS, AND CABLE MANAGEMENT. NETWORK SWITCHES, PATCH CORDS AND OTHER ELECTRONICS SHALL BE PROVIDED BY SLO EGG FOR THEIR USE.
- 10 VIDEO SURVEILLANCE FIBER OPTIC CABLE, TWO STRANDS OF SINGLE MODE FIBER OPTIC CABLE IN ARMORED JACKET.
- 11 KPW INTERNAL NETWORK, 4 STRANDS OF SINGLE MODE FIBER OPTIC CABLE IN ARMORED JACKET.
- 12 SEGRA IT SERVICE (ASSUME 24 STRANDS OF SINGLE MODE FIBER OPTIC CABLE).
- 13 DISPATCH ALTERNATE AT 3RD FLOOR (ASSUME 2 STRANDS OF SINGLE MODE FIBER OPTIC CABLE ROUTED TO DEMARC IN 3RD FLOOR IT ROOM).
- 14 DISPATCH ALTERNATE KPW INTERNAL NETWORK, 4 STRANDS OF SINGLE MODE FIBER OPTIC CABLE IN ARMORED JACKET.





LOW VOLTAGE RESPONSIBILITY MATRIX: BASE BID						
LV System	Rough-In Performed By	Cabling Performed By	Terminations Performed by	Equip. Install Performed by	Monitoring Service	Comments
<b>Power</b>	EC	EC	EC	EC	KPW - Electrical Service Meter	
<b>Telephone</b>						
System (Software, Headsets)	---	---	---	Vendor		Owner direct contract with Vendor.
Backbone Wiring	EC	EC	EC	Vendor	---	VOIP system.
<b>Data (KPW/Owner)</b>						
UPS	EC	EC	EC	EC		5 kW Rack Mounted UPS provided in each KPW IT rack by project.
Fiber Optic Service/Backbone	EC	Segra	Segra	EC		Fiber optic service/backbone cable provided by Vendor (Segra) through project provided conduit to Main IT Room. Terminate on project provided fiber optic termination cabinet in rack.
Fiber Optic Distribution	EC	EC	EC	EC		Fiber optic termination cabinet provided at demarc (24 strand single mode minimum). Fiber optic distribution cables from Main IT Room to Telecommunication Rooms/IT Rooms by project unless noted otherwise.
Cable Management	EC	EC	EC	EC		Existing rack cable management to remain. New vertical and horizontal cable management by project for new racks and patch panels.
Racks	EC	EC	EC	EC/ETR		Existing IT racks to remain. New 19" two post racks to be provided per design.
Switches	EC	Owner	Owner	Owner		Owner provided switches and connections to IT room fiber and patch panels.
Patch Panels	EC	EC	EC	GC/ETR		Existing rack mounted patch panels to remain. One 48 port Cat6 patch panel provided in each rack, new and ETR.
WAPs	EC	EC	Owner	Owner		Owner preferred WAP antenna is Basis of Design.
<b>Audio/Visual</b>						
Projectors/Mounts - Meeting Rooms	ETR	ETR	ETR	ETR		
TV Mounts	ETR	ETR	ETR	ETR		
<b>Security</b>						
Security Cameras	EC	EC	EC	Murphy	Murphy	Owner direct contract with Vendor (Murphy).
Access Control	EC	EC	Murphy	Murphy	Murphy	Owner direct contract with Vendor (Murphy). ACS components provided by Murphy. Rough-in and door control cable to above door and 10 feet excess coiled by project.
<b>Fire Alarm</b>	EC	Tech Electronics	Tech Electronics	Tech Electronics	Tech Electronics	Owner direct contract with Vendor (Tech Electronics).
<b>Lighting Control</b>	EC	EC	EC	EC		Stand alone building controls by project.
<b>Intercom (AV)</b>	EC	Tech Electronics	Tech Electronics	Tech Electronics	Tech Electronics	Owner direct contract with Vendor (Tech Electronics).
<b>Subtying Service</b>	EC	EC	EC	EC	EC	
Emergency Responder/DAS	EC	Tech Electronics	Tech Electronics	Tech Electronics	Tech Electronics	Owner direct contract with Vendor (Tech Electronics).

LOW VOLTAGE RESPONSIBILITY MATRIX: ALT #1A - POLICE DISPATCH						
LV System	Rough-In Performed By	Cabling Performed By	Terminations Performed by	Equip. Install Performed by	Monitoring Service	Comments
<b>Power</b>	EC	EC	EC	EC		Existing ECC UPS, Batteries, ATS, TVSS, Disconnect and 100A Panelboard Serving ECC Rack Equipment
<b>Voice Logging System (Equate)</b>						
System (Cabinet)	---	---	---	Wireless USA		Owner direct contract with Vendor (Wireless USA)
Back Bone Wiring	EC	EC	EC	Vendor	---	
<b>RADIO Communications</b>						
UPS and Panelboard	EC	EC	EC	EC		Existing RADIO Equipment Room UPS and Panelboard to be relocated and installed in 3rd floor IT Room.
Fiber Optic Service/Backbone	EC	AT&T	AT&T	Wireless USA (Relocated Rack)		Fiber optic service/backbone cable provided by AT&T through project provided conduit to Dispatch 3rd Floor IT Room. Terminate on relocated fiber optic termination cabinet in rack.
Fiber Optic Distribution	Wireless USA	Wireless USA	Wireless USA	Wireless USA (Relocated Rack)		Owner direct contract with Wireless UPS for relocation of rack and installation of RADIO system components within 3rd floor IT Room.
Cable Management	Wireless USA	Wireless USA	Wireless USA	Wireless USA (Relocated Rack)		Owner direct contract with Wireless UPS for relocation of rack and installation of RADIO system components within 3rd floor IT Room.
Racks	Wireless USA	Wireless USA	Wireless USA	Wireless USA (Relocated Rack)		Owner direct contract with Wireless UPS for relocation of rack and installation of RADIO system components within 3rd floor IT Room.
Switches	Wireless USA	Wireless USA	Wireless USA	Wireless USA (Relocated Rack)		Owner direct contract with Wireless UPS for relocation of rack and installation of RADIO system components within 3rd floor IT Room.
Patch Panels	Wireless USA	Wireless USA	Wireless USA	Wireless USA (Relocated Rack)		Owner direct contract with Wireless UPS for relocation of rack and installation of RADIO system components within 3rd floor IT Room.
<b>Data (KPW/Owner)</b>						
UPS	EC	EC	EC	EC		5 kW Rack Mounted UPS provided in each KPW IT rack by project.
Fiber Optic Distribution	ETR	ETR	ETR	ETR		Fiber optic distribution cables from Main IT Room to Telecommunication Rooms/IT Rooms by project unless noted otherwise for Dispatch.
Cable Management	ETR	ETR	ETR	ETR		New vertical and horizontal cable management by project for new racks and patch panels.
Racks	EC	EC	EC	EC		New 19" two post racks to be provided per design.
Switches	EC	Owner	Owner	Owner		Owner provided switches and connections to IT room fiber and patch panels.
Patch Panels	EC	EC	EC	EC		One 48 port Cat6 patch panel provided in each rack for KPW network.
WAPs	EC	EC	Owner	Owner		Owner preferred WAP antenna is Basis of Design.
<b>Audio/Visual</b>						
Projectors/Mounts - Meeting Rooms	EC	EC	EC	EC		
TV Mounts	EC	EC	EC	GC		
<b>Security</b>						
Security Cameras	EC	EC	EC	Murphy	Murphy	Owner direct contract with Vendor (Murphy).
Access Control	EC	EC	Murphy	Murphy	Murphy	Owner direct contract with Vendor (Murphy). ACS components provided by Murphy. Rough-in and door control cable to above door and 10 feet excess coiled by project.
<b>Fire Alarm</b>	EC	Tech Electronics	Tech Electronics	Tech Electronics	Tech Electronics	Owner direct contract with Vendor (Tech Electronics).
<b>Lighting Control</b>	EC	EC	EC	EC		Stand alone building controls by project.

Name: Mary J Grib  
Discipline: Professional Engineer  
License No: PE-026961  
Expiration Date: 12/31/2027

THE PROFESSIONAL'S SIGNATURE AND SEAL MUST BE PLACED HERE. ALL OTHERS MUST APPEAR ON THIS SHEET ONLY. ALL OTHERS MUST BE DESIGNATED AS SUCH. ANY CHANGES TO THIS SHEET MUST BE MADE BY THE PROJECT OWNER OR ARCHITECT. ANY CHANGES TO THIS SHEET MUST BE MADE BY THE PROJECT OWNER OR ARCHITECT.

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